

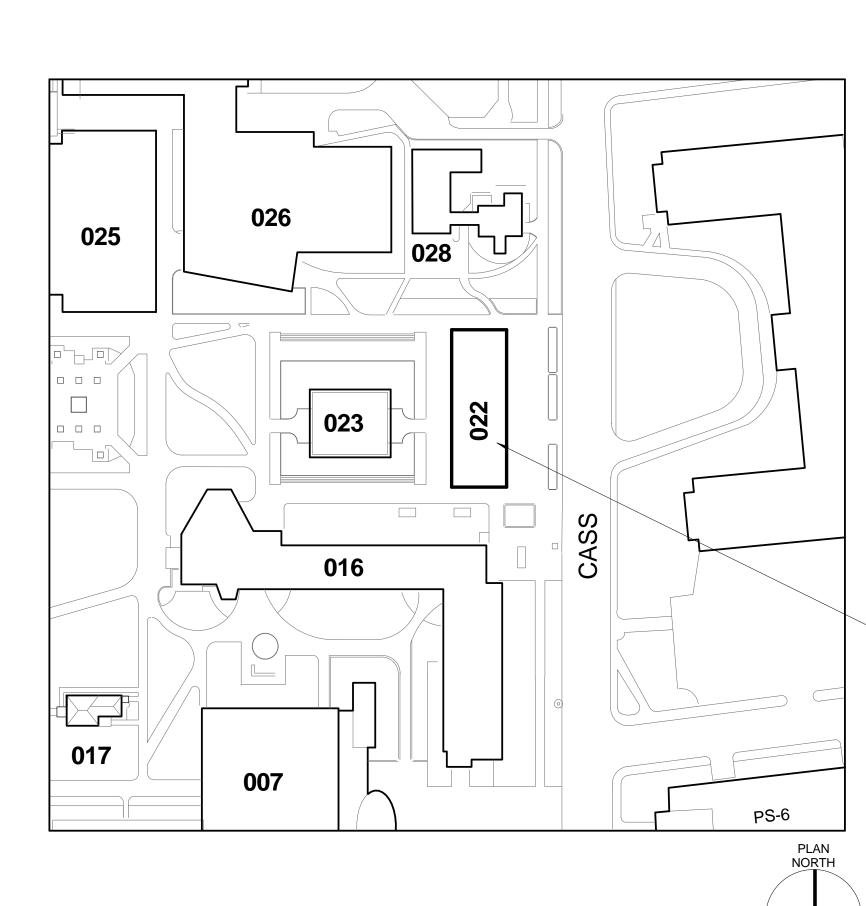
WAYNE STATE UNIVERSITY

PRENTIS BUILDING FACADE REPAIRS

Facilities Planning & Management / Design & Construction Services

WSUPN: 022 255015 QEA PN: 31408200





EX OF DRAWINGS	PRELIM. CD \$ 09/11/15	FINAL CD SET 11/06/15	BID SET 12/04/2015	
TITLE SHEET	0	0	•	
INDEX/ ABBREVIATIONS /SYMBOLS /GENERAL NOTES		0	•	
SITE, STAGING, & LOGISTICS PLAN	0	0	•	
SECOND FLOOR PLAN & ROOM FINISH SCHEDULE		0	•	
THIRD FLOOR PLAN & ROOM FINISH SCHEDULE		0	•	
EAST AND WEST ELEVATIONS	0	0	•	
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PREVIOUS ISSUECURRENT ISSUEPOTENTIAL FUTURE ISSUE

THE MEYER AND ANNA
PRENTIS BUILDING (PREN)
5201 CASS AVENUE
DETROIT, MI 48202

SITE LOCATION MAP

NOT TO SCALE



PROJECT TEAM

OWNER:
WAYNE STATE UNIVERSITY
FACILITIES PLANNING AND MANAGEMENT
DESIGN AND CONSTRUCTION SERVICES
5454 CASS AVE.
DETROIT, MI 48202

ARCHITECT:
QUINN EVANS / ARCHITECTS
4219 WOODWARD AVE SUITE 301
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STRUCTURAL:
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6765 DALY ROAD
WEST BLOOMFIELD, MI 48322
P: (248) 932-2010
F: (248) 932-3088

71 GARFIELD SUITE 160-B DETROIT, MI 48201

v 313 887 9560 f 734 663 5044

WWW.QUINNEVANS.COM

MATERIAL(S)

MECHANICAL

NOT TO SCALE

ON CENTER

RADIUS, RISER

RUBBER BASE

REFERENCE

ROOFING RIGHT HAND

RAIN LEADER

SOUTH, SEAL SOLID CORE

SECTION **SQUARE FEET** SHEET SIMILAR

ROUGH OPENING

SOUND / LIGHT LOCK

SPECIFICATION(S)

STAINLESS STEEL STAINLESS STANDARD

TOP OF **TECHNOLOGY TELEPHONE**

THICK(NESS)

THRESHOLD

TOLERANCE

TOP OF CURB

TOP OF STEEL

TRANSPARENT

UNDERWRITER'S LABORATORY

UNLESS OTHERWISE NOTED

VINYL COMPOSITION TILE

TOP OF WALL

TELEVISION

UNFINISHED

CENTER LINE

WORK POINT

WELDED WIRE FABRIC

EXIST (OR APPROX) DIM - VIF

WATER CLOSET

VERIFY IN FIELD

VENTILATION UNIT VINYL WALLCOVERING

TOP OF MASONRY

STRUCTURAL SUSPENDED

SYMMETRICAL

TONGUE AND GROOVE

REINFORCED

REVISION(S) / REVISE(D)

PERFORATE(D)

PLASTIC LAMINATE

PREPARE (SURFACE)

POUNDS PER SQUARE FOOT

POUNDS PER SQUARE INCH

OPPOSITE HAND

MANUFACTURE(R)

MISCELLANEOUS

NOT IN CONTRACT

OUTSIDE DIAMETER

MASONRY OPENING

<u>ABB</u>	<u>REVIATIONS</u>		
A/C ABT ACCESS ACOUS ACP AD ADA ADJ AFF AGG ALT ALUM APPROX ARCH	AIR CONDITIONING ABOUT ACCESSIBLE ACOUSTIC ACOUSTICAL CEILING PANEL AREA DRAIN AMERICANS WITH DISABILITIES ACT ADJUSTABLE ABOVE FINISHED FLOOR AGGREGATE ALTERNATE ALUMINUM APPROXIMATELY ARCHITECT(URAL, URE)	MATL MAX MECH MED MEMB MFR MIN MISC MO MTD MTG MTL	MATERIAL(S MAXIMUM MECHANICA MEDIUM MEMBRANE MANUFACTU MINIMUM MISCELLANE MASONRY O MOUNTED MOUNTING METAL NORTH
ASPH ASSOC AUTO AWP	ASPHALT(IC) ASSOCIATED AUTOMATIC ACOUSTICAL WALL PANEL BOARD	NAT NIC NO NOM NTS	NATURAL NOT IN CON' NUMBER NOMINAL NOT TO SCA
BIT BLDG BLKG BM BTM BTWN	BITUMINOUS, BITUMEN BUILDING BLOCKING BEAM BOTTOM BETWEEN	OC OD OFF OH OPNG OPP OPP HD	ON CENTER OUTSIDE DIA OFFICE OVERHEAD OPENING OPPOSITE OPPOSITE
CAB CEM CJ CLG CLO CLR CMU CO COL COM CONC COND CONFIG CONST CONT COORD CORR CPT CT CT	CABINET CEMENT CONTROL JOINT CEILING CLOSET CLEAR(ANCE) CONCRETE MASONRY UNIT CONTRACTING OFFICER COLUMN COMMUNICATIONS CONCRETE CONDITION CONFIGURATION CONSTRUCTION CONTINUOUS COORDINATE CORRIDOR CARPET(ED) CERAMIC TILE CENTER	PAR PART PC PERF PL PLAM PLAS PLWD PNL PR PREP PROV PSF PSI PT PTD PVMT	PARALLEL PARTITION PRECAST PERFORATE PLATE PLASTIC LAM PLASTER PLYWOOD PANEL(ED) PAIR PREPARE (S PROVIDE POUNDS PE POUNDS PE POINT PAINT(ED) PAVEMENT
D DEG DF DIAG DIAM DIM DIV DN DR DTL DWG(S)	DEEP DEGREE DRINKING FOUNTAIN DIAGONAL DIAMETER DIMENSION DIVISION DOWN DOOR DETAIL DRAWING(S) EAST	R RB REF REINF REQD/REQ'D RESIL RET REV RFG RH RL RM RO	RADIUS, RIS RUBBER BAS REFERENCE REINFORCE
E-P EA EJ ELEC ELEV ELEV EMER ENCL EQ EQUIP EST EXH EXIST EXP EXT FA FAS FD	EPOXY PAINT EACH EXPANSION JOINT ELECTRICAL ELEVATION (TOPO) ELEVATION (ARCH) EMERGENCY ENCLOS(E,URE) EQUAL EQUIPMENT ESTIMATE(D) EXHAUST EXISTING EXPOSED, EXPANSION EXTERIOR FIRE ALARM FASTEN(ER) FLOOR DRAIN	S SC SCHED SECT SF SHT SIM SLL SPEC(S) SQ SS ST STD STL STN STO STRUC SUSP	SOUTH, SEA SOLID CORE SCHEDULE SECTION SQUARE FEI SHEET SIMILAR SOUND / LIG SPECIFICAT SQUARE STAINLESS STAINLESS STAINLESS STAINLESS STAINLESS STAIN STORAGE STRUCTURA SUSPENDED
FDN FE FEC FF FGL FHC FIN(S) FIXT FL FLAM FLUOR FOC FOS FP FR FT FTG FUR	FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISHED FACE FIBERGLASS FIRE HOSE CABINET FINISH(ES) FIXTURE FLOOR(ING) FLAMMABLE FLUORESCENT FACE OF CONCRETE FACE OF STUDS FIREPROOF(ING) FRAME(D,ING) FEET FOOTING FURR(ED,ING)	SYM SYS T T&G T.O. TECH TEL TEMP THK THRESH TOC TOL TOM TOS TOW TRANS TV TYP	SYMMETRIC SYSTEM TREAD TONGUE AN TOP OF TECHNOLOG TELEPHONE TEMPERED THICK(NESS THRESHOLD TOP OF CUR TOLERANCE TOP OF MAS TOP OF STE TOP OF WAL TRANSPARE TELEVISION TYPICAL
GA GALV GB GC GL GOVT GT GWB	GAUGE GALVANIZED GRAB BAR GENERAL CONTRACT(OR) GLASS, GLAZING GOVERNMENT GROUT GYPSUM WALLBOARD	UL UNFIN UON VAR VCT VERT	UNDERWRIT UNFINISHED UNLESS OTH VARIES VINYL COMP VERTICAL
H HC HDR HDWD HDWR HGT HM HORIZ HP HR HT HVAC	HIGH HOLLOW CORE HEADER HARDWOOD HARDWARE HEIGHT HOLLOW METAL HORIZONTAL HIGH POINT HOUR HEIGHT HEATING, VENTILATION & AIR CONDITIONING INSIDE DIAMETER INCH(ES)	VEST VIF VU VWC W W/ W/O WC WD WDW WH WP WT WWF	VESTIBULE VERIFY IN FI VENTILATION VINYL WALL WIDE, WEST WITH WITHOUT WATER CLO WOOD WINDOW WALL HUNG WORK POINT WEIGHT WELDED WIN NUMBER
INCAN INCL INSUL INT JAN JT(S)	INCANDESCENT INCLUDE(D,ING) INSULATION, INSULATED INTERIOR JANITOR JOINT(S)	 & + @ C L	AND EXIST (OR A AT CENTER LIN ANGLE

LAMINATE(D)

LINEAR FEET LEFT HAND LIVE LOAD LOW POINT LIGHTING LINTEL

MASONRY

LAVATORY

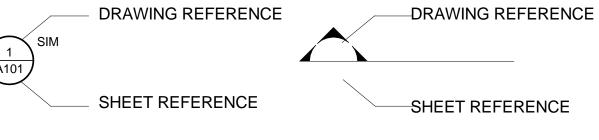
MATERIAL DESIGNATIONS & SYMBOLS

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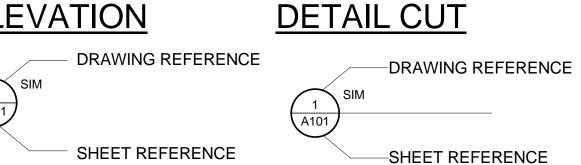
	EXISTING WALL TO REMAIN	Room name	ROOM NUMBER
	ELEMENTS TO BE REMOVED	101	FINISH TYPE
	EXTENT OF WORK	101	DOOR NUMBER
		1i	WALL TYPES
	CMU	$\langle 1t \rangle$	WINDOW NUMBER
4	CONCRETE	<u> </u>	WINDOW NOMBER
	CONTINUOUS WOOD BLOCKING	\bigoplus	EXISTING ELEVATION
	STEEL (LARGE SCALE)	•	NEW ELEVATION
	GWB / PLASTER	+	WORK POINT
	RIGID INSULATION		
	CARPET		
	PLYWOOD		
	DISCONTINUIOLIS		

BLDG SECTION CUT DETAIL / PLAN



ELEVATION

WOOD BLOCKING



GENERAL NOTES

12

THE PRENTIS BUILDING IS A BUILDING OF NATIONAL HISTORIC SIGNIFICANCE AND IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES. TREAT THE BUILDING RESPECTFULLY AND EXISTING MATERIALS TO REMAIN AS IRREPLACEABLE. DO NOT REMOVE, ALTER, OR DISFIGURE ANY EXISTING MATERIALS, ELEMENTS, OR FINISHES UNLESS INDICATED ON DRAWINGS, SPECIFICATIONS, OR DIRECTED BY ARCHITECT.

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- THE BUILDING WILL REMAIN OCCUPIED AND OPERATIONAL DURING CONSTRUCTION AND IS LOCATED WITHIN AN OCCUPIED EDUCATIONAL CAMPUS. CONTRACTOR IS REPONSIBLE FOR PROVIDING TEMPORARY PROTECTION AND MAINTAINING SAFETY DURING CONSTRUCTION ACTIVITIES, IN ORDER TO PROTECT THE SURROUNDING PEDESTRIAN AND OCCUPIED SPACES.
- THE EXISTING BUILDING ENVELOPE MUST BE MAINTAINED IN A WEATHER TIGHT CONDITION AT ALL TIMES. IF TEMPORARY OPENINGS ARE REQUIRED TO COMPLETE THE WORK, THE CONTRACTOR MUST NOTIFY AND OBTAIN APPROVAL FROM THE OWNER PRIOR TO COMMENCING WITH THE WORK.
- NEW CONSTRUCTION SHALL PROCEED WITH CARE SO AS NOT TO DAMAGE EXISTING FINISHES TO REMAIN. CONTRACTOR SHALL PATCH, REPAIR, AND/OR REPLACE ALL SURFACES AND FINISHES AS REQUIRED TO ACHIEVE A UNIFORM APPEARANCE AND/OR MATCH EXISTING.
- OBTAIN APPROVAL FROM WAYNE STATE UNIVERSITY FIRE MARSHALL FOR LOCATIONS TO STAGE AND STORE MATERIALS. INCLUDING COMBUSTIBLE AND FLAMMABLE MATERIALS, AND FIRE EXTINGUISHING EQUIPMENT. ALL MICHIGAN OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS MUST BE FOLLOWED REGARDING FIRE SAFETY PROCEDURES.
- INFORMATION CONTAINED IN THESE DRAWINGS IS BASED ON LIMITED FIELD INVESTIGATION AND HISTORIC DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD. *NOTIFY ARCHITECT AND OWNER IF EXISTING MATERIALS DESIGNATED TO REMAIN ARE DETERMINED IN THE FIELD TO BE DETERIORATED TO THE POINT OF IMMINENT FAILURE, PRIOR TO PROCEEDING WITH WORK.
- COMPLY WITH ALL WAYNE STATE UNIVERSITY STANDARDS SUCH AS OFFICE RISK MANAGEMENT; DESIGN & CONSTRUCTION SERVICES; CIT; & PUBLIC SAFETY STANDARDS.
- DO NOT SCALE DRAWINGS. DO NOT SEPERATE DRAWINGS.
- ALL WORK NOTES REFER TO NEW WORK AND MATERIALS (TO BE PROVIDED), UNLESS DESIGNATED AS EXISTING TO REMAIN.
- 10. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND ACCOMMODATING ALL ONG-LEAD TIMES FOR MATERIALS AND EQUIPMENT WITHIN THE APPROVED CONSTRUCTION SCHEDULE.
- 11. GENERAL NOTES APPLY TO ALL DRAWINGS.
- 12. DRAWING NOTATIONS INCLUDE USE OF COLOR. ALL PRINTS AND REPRODUCTIONS OF DRAWINGS MUST BE IN COLOR.

LIST OF ALTERNATES:

- ALT. #1: CLEAN EXTERIOR STONE VENEER AROUND THE FIRST FLOOR
- BASE BID: CLEAN THE EXTERIOR PRECAST CONCRETE FACADE OF THE SECOND AND THIRD STORIES PER THE CONTRACT DOCUMENTS. LEAVE THE STONE VENEER FACADE OF THE FIRST STORY AS-IS.
- ALTERNATE: CLEAN THE HISTORIC STONE VENEER FACADE AROUND THE FIRST FLOOR, IN ACCORDANCE WITH SPECIFICATION SECTIONS 040310 "HISTORIC MASONRY CLEANING."

ALT. #2: SEALING OF PRECAST CONCRETE FACADE

- BASE BID: PERFORM PRECAST CONCRETE REPAIRS AND CLEANING AS INDICATED ON THE DRAWINGS AND SPECIFICATION SECTION 030140 "MAINTENANCE OF PRECAST CONCRETE", OMITTING ANY SEALING WORK.
- ALTERNATE: FOLLOWING PATCH REPAIR, CRACK REPAIR, AND CLEANING WORK TO PRECAST CONCRETE, APPLY A BREATHABLE, PENETRATING SEALER TO ALL EXTERIOR PRECAST CONCRETE SURFACES AROUND THE SECOND AND THIRD STORIES OF THE BUILDING, IN ACCORDANCE WITH SEALING ARTICLES IN SECTION 030140 "MAINTENANCE OF PRECAST CONCRETE."

ALT. # 3: INTERIOR VENEER PLASTER PATCH REPAIRS AND RE-PAINTING

- BASE BID: PATCH REPAIR PRECAST CONCRETE DAMAGE ON THE INTERIOR AS INDICATED ON THE FLOOR PLANS.
- **ALTERNATE:** REMOVE WATER-DAMAGED PAINT AND VENEER PLASTER ON THE INTERIOR FACE OF ALL EXTERIOR PRECAST CONCRETE WALL PANELS AND SELCT SIDDE WALLS, PATCH REPAIR THE VENEER PLASTER, AND REPAINT ENTIRE FACES OF ALL EXTERIOR WALLS. REMOVE AND REPLACE ALL SEALANT AND BACKING MATERIAL FOR ALL INTERIOR FACING JOINTS BETWEEN THE PRECAST PANELS AND WHERE PERPENDICULAR INTERIOR WALLS INTERSECT THE EXTERIOR PANELS. ALL WORK IS TO BE AS DEFINED ON DRAWINGS A-101 'SECOND FLOOR PLAN & ROOM FINISH SCHEDULE' AND A-102 'THIRD FLOOR & ROOM FINISH SCHEDULE', AS WELL AS THE REQUIREMENTS OF SECTIONS 090120 "MAINTENANCE OF PLASTER" AND 099123 "INTERIOR PAINTING."

ALT. #4: ACCELERATED CONSTRUCTION SCHEDULE

- BASE BID: PERFORM ALL WORK IDENTIFIED BY THE CONTRACT DOCUMENTS, INCLUDING WORK OF ANY ACCEPTED ALTERNATES. DECLARE ON BID FORM OF BASE BID ACCOUNTS FOR COMPLETION OF ALL WORK WITHIN THE CONSTRUCTION DATES IDENTIFIED IN THE GENERAL REQUIREMENTS.
- ALTERNATE: IF BSE BID DOES NOT ACCOUNT FOR COMPLETION OF ALL WORK WITHIN THE CONSTRUCTION DATES IDENTIFIED IN THE GENERAL REQUIREMENTS, PROVIDE COST TO ACCOMODATE THAT OWNER'S SCHEDULE.



4219 WOODWARD AVE, SUITE 301 DETROIT, MI 48201

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WAYNE STATE

Facilities Planning & Management Design & Construction Services 5454 Cass Ave. Detroit, MI 48202

PRENTIS BUILDING FACADE REPAIRS

5201 Cass Avenue **Detroit, MI 48202**

> QEA # 31408200 WSU # 022255015

Building #022

INDEX/ **ABBREVIATIONS** /SYMBOLS /GENERAL **NOTES**

BID	DOCUMENTS
	04/13/2018

REVISIONS NO. DESCRIPTION

SITE LEGEND

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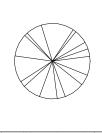
EXTENT OF BASEMENT BELOW GRADE.
ALL CONSTRUCTION LOADS INTRODUCED TO THE SUPPORTED SLAB OVER THE BASEMENT MUST BE DISTRIBUTED TO 100 LBS. PER SQUARE FEET, MAXIMUM. ALL APPLIED OR DYNAMIC LOADS SHALL BE DISTRIBUTED USING (3) SHEETS OF 3/4" PLYWOOD PANELS, WITH STAGGERED JOINTS. NO LOADING CAN EXCEED THESE LIMITS. ALL MATERIAL, EQUIPMENT, AND VEHICLE STORAGE MUST BE BEYOND THE EXTENTS OF THE BASEMENT OVER SOLID GRADE.

* NOTE: BASEMENT IS A FILLED / OCCUPIED SPACE AND CANNOT BE SHORED

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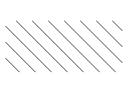
INGRESS/EGRESS ACCESS TO BE MAINTAINED AT ALL TIMES



EXISTING SITE TREE TO REMAIN - NOT TO SCALE



EXISTING LAWN OR VEGETATION TO REMAIN



AREA OF SITE IMPACTED BY MIDTOWN LOOP SITE IMPROVEMENT PROJECT ALONG CASS AVENUE, UNDER SEPARATE CONTRACT. CONSTRUCTION IS ANTICIPATED TO BE SCHEDULED CONCURRENT WITH THIS PROJECT. CONTRACTOR IS TO COORDINATE STAGING AND ACCESS WITH THEIR ON-SITE SUPERVISORS TO AVOID CONFLICTS AND DELAYS.

GENERAL NOTES

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1. THE PRENTIS BUILDING IS A BUILDING OF NATIONAL HISTORIC SIGNIFICANCE AND IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES. TREAT THE BUILDING RESPECTFULLY AND EXISTING MATERIALS TO REMAIN AS IRREPLACEABLE. DO NOT REMOVE, ALTER, OR DISFIGURE ANY EXISTING MATERIALS, ELEMENTS, OR FINISHES UNLESS INDICATED ON DRAWINGS, SPECIFICATIONS, OR DIRECTED BY ARCHITECT.

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- 2. THE BUILDING WILL REMAIN OCCUPIED AND OPERATIONAL DURING CONSTRUCTION AND IS LOCATED WITHIN AN OCCUPIED EDUCATIONAL CAMPUS. CONTRACTOR IS REPONSIBLE FOR PROVIDING TEMPORARY PROTECTION AND MAINTAINING SAFETY DURING CONSTRUCTION ACTIVITIES, IN ORDER TO PROTECT THE SURROUNDING PEDESTRIAN AND OCCUPIED SPACES.
- 3. THE EXISTING BUILDING ENVELOPE MUST BE MAINTAINED IN A WEATHER TIGHT CONDITION AT ALL TIMES. IF TEMPORARY OPENINGS ARE REQUIRED TO COMPLETE THE WORK, THE CONTRACTOR MUST NOTIFY AND OBTAIN APPROVAL FROM THE OWNER PRIOR TO COMMENCING WITH THE WORK.
- OBTAIN APPROVAL FROM WAYNE STATE UNIVERSITY FIRE MARSHALL FOR LOCATIONS TO STAGE AND STORE MATERIALS, INCLUDING COMBUSTIBLE AND FLAMMABLE MATERIALS, AND FIRE EXTINGUISHING EQUIPMENT. ALL MICHIGAN OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS MUST BE FOLLOWED REGARDING FIRE SAFETY PROCEDURES.
- INFORMATION CONTAINED IN THESE DRAWINGS IS BASED ON LIMITED FIELD INVESTIGATION AND HISTORIC DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD. *NOTIFY ARCHITECT AND OWNER IF EXISTING MATERIALS DESIGNATED TO REMAIN ARE DETERMINED IN THE FIELD TO BE DETERIORATED TO THE POINT OF IMMINENT FAILURE, PRIOR TO PROCEEDING WITH WORK.

SITE & STAGING NOTES:

- 1. THIS DRAWING IS PROVIDED AS AN OVERVIEW OF SITE STAGING REQUIREMENTS, TO ASSIST THE CONTRACTOR IN UNDERSTANDING SITE ACCESS AND CONSTRAINTS AND WITH PREPARATION OF THE WORK PLAN FOR CONSTRUCTION OF THE PROJECT. THE INFORMATION ON THIS DRAWING DOES NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY FOR THE SAFETY AND SECURITY OF THE JOBSITE, MEANS AND METHODS OF CONSTRUCTION, SCHEDULING AND SEQUENCING OF THE WORK, PROTECTION OF THE GENERAL PUBLIC, OR PREPARATION OF A COMPREHENSIVE WORK PLAN FOR THE PROJECT.
- MAINTAIN REQUIRED MEANS OF EGRESS AND ACCESSIBLE BARRIER-FREE ROUTES TO FROM, AND AROUND BUILDING THROUGHOUT THE ENTIRE DURATION OF CONSTRUCTION. DO NOT BLOCK OR REMOVE FROM SERVICE ANY BUILDING ENTRANCE, PUBLIC ROUTE, OR MEANS OF EGRESS UNLESS AN ALTERNATE ROUTE IS APPROVED AS PART OF THE CONTRACTOR'S GENERAL WORK PLAN. SCHEDULE AND SEQUENCE THE WORK SO AS TO MINIMIZE THE IMPACT OF CONSTRUCTION ON PUBLIC ROUTES. PROVIDE HARD BARRICADES OR OTHER TEMPORARY PROTECTION AS NECESSARY TO PROTECT BUILDING ENTRANCES / EXITS AND PUBLIC ROUTES. OBTAIN APPROVAL FROM WAYNE STATE UNIVERSITY FIRE MARSHAL FOR PROPOSED SECURITY AND BARRICADING MEASURES / LAYOUTS.
- 3. CONTRACTOR ACCESS TO THE BUILDING INTERIOR IS PROHIBITED, EXCEPT TO PERFORM ANY SPECIFIC, IDENTIFIED INTERIOR SCOPE OF WORK. CONTRACTOR IS TO COORDINATE AND OBTAIN APPROVAL OF THE SCHEDULING OF ANY INTERIOR WORK WITH THE OWNER PRIOR TO COMMENCEMENT OF THE PROJECT.
- PROVIDE TEMPORARY PROTECTION OF EXISTING LANDSCAPE FEATURES. RESTORE EXISTING SITE AND LANDSCAPE FEATURES AND BUILDING ELEMENTS DAMAGED BY CONSTRUCTION OPERATIONS AND MATERIALS.
- 5. PROVIDE TEMPORARY PROTECTION OF EXISTING FINISHES ALONG THE ACCESS ROUTE TO AND FROM THE AREA OF WORK. RESTORE ALL LAWN AREAS, SURFACES AND BUILDING ELEMENTS DAMAGED DURING CONSTRUCTION.
- 6. COORDINATE LOCATION FOR APPROVED CONTRACTOR PARKING WITH THE OWNER, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ACCESS TO PERFORM THE WORK TO THE EXTERIOR OF THE UPPER FLOORS OF THE BUILDING. CONTRACTOR MUST SUBMIT WRITTEN ACCESS PLAN, INCLUDING LIFT SPECIFICATIONS AND / OR SCAFFOLDING PLANS FOR REVIEW AND APPROVAL, PRIOR TO COMMENCEMENT OF CONSTRUCTION, WITH COMPLETE INFORMATION AND CALCULATIONS SHOWING COMPLIANCE WITH THE LOADING LIMITATIONS OUTLINED IN THE LEGEND BELOW. ANY SYSTEMS PROPOSED USING ALTERNATE LOADING COMPLIANCE MUST INCLUDE CALCULATIONS PREPARED BY A PROFESSIONAL ENGINEER, LICENSED IN THE STATE OF MICHIGAN.

CONTRACTOR IS RESPONSIBLE FOR PROVIDING THEIR OWN

- THE CONTRACTOR SHALL CLEAN ALL WORK AREAS AT THE END OF EACH WORK DAY.
- PROVIDE TEMPORARY RESTROOM FACILITIES FOR CONSTRUCTION PERSONEL. USE OF UNIVERSITY FACILITIES IS PROHIBITED.
- 10. FLAMMABLE STORAGE MUST BE LOCATED A MINIMUM OF 25'-0" FROM THE EDGE OF ANY BUILDING.



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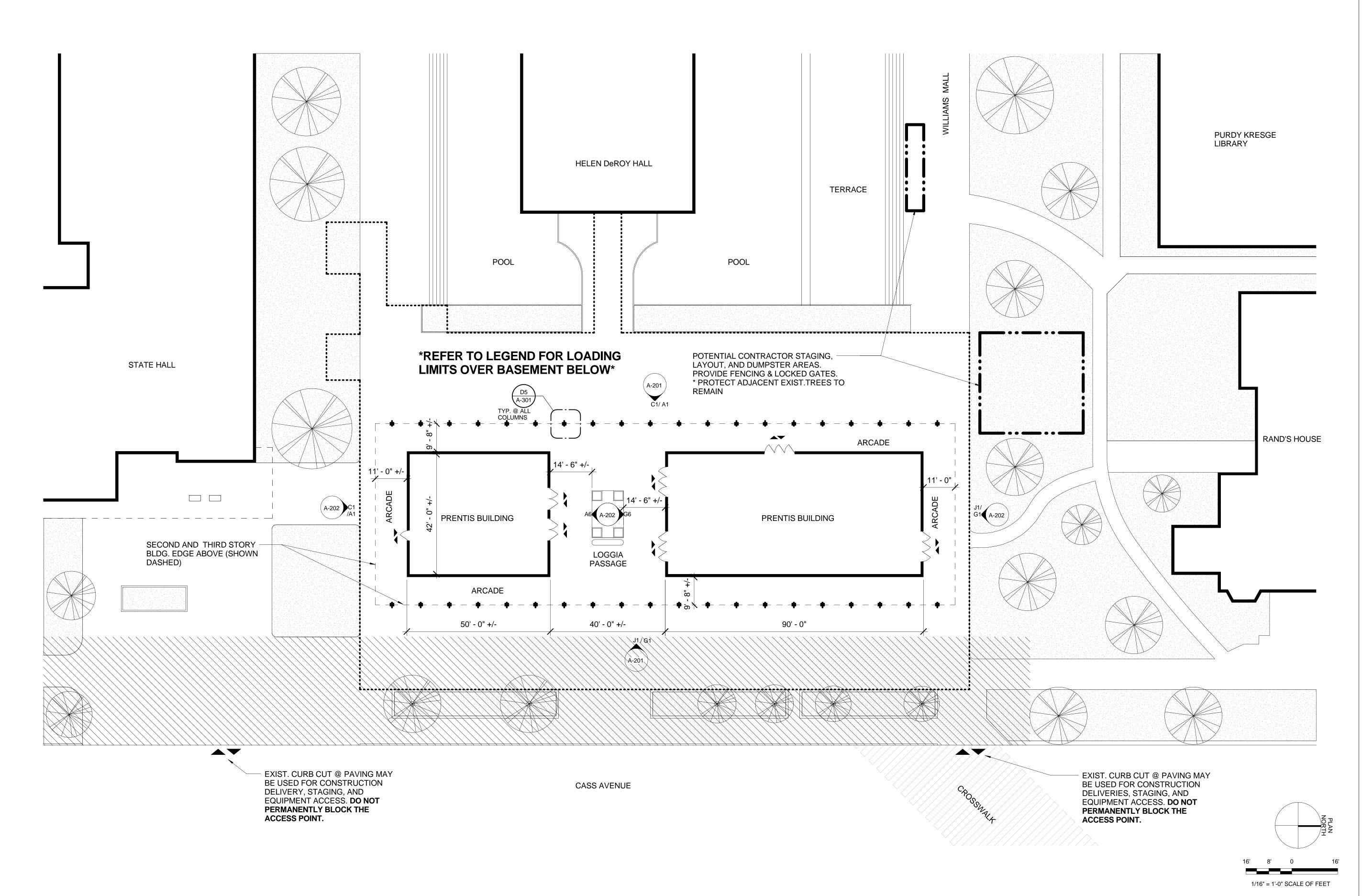
SITE, STAGING, & LOGISTICS PLAN

04/13/2018

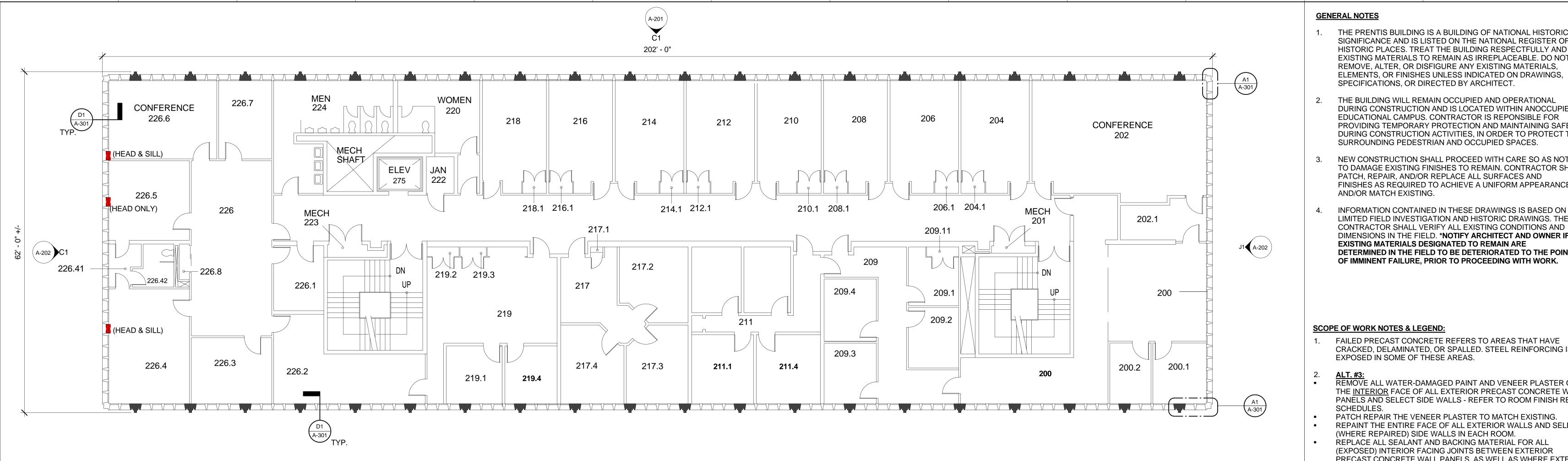
REVISIONS

NO. DESCRIPTION

G-002



A1 SITE PLAN
A-201 1/16" = 1'-0"



*NOTE: CONCRETE PATCH REPAIR AREAS SHOWN HATCHED ABOVE ON THE PLAN ARE TO BE CONSIDERED PART OF THE BASE BID SCOPE OF WORK. BASE BID SCOPE DOES NOT INCLUDE FINISHING THE PATCH AREAS WITH VENEER PLASTER OR PAINT (FINISHING OF SUCH AREAS IS COVERED IN THE ROOM FINISH REPAIR SCHEDULE AS PART OF THE ALT. #3 SCOPE OF WORK).

CEILING TRIM

8' - 0"

2' - 0"

2' - 0"

MATL. REPL. LENGTH MATL. REPL. LENGTH

-

WOOD

WOOD

-

-

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WOOD

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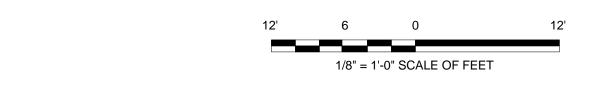
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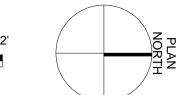
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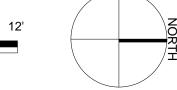
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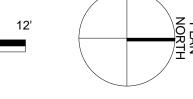
A-201

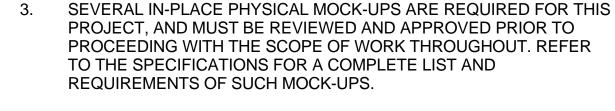
REMARKS











MAJOR CONCRETE PATCH REPAIR:

TO A1/ A-301 FOR TYPICAL JOINT PATTERN.

* REFER TO THE SPECIFICATIONS.

(WHERE REPAIRED) SIDE WALLS IN EACH ROOM.

SECTION OF DETERIORATION, EXPOSED REINFORCING IS KNOWN OR ASSUMED TO EXIST. PATCH WITH A CUSTOM MIX TO MATCH EXISTING. REFER TO STRUCTURAL FOR

12

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THE PRENTIS BUILDING IS A BUILDING OF NATIONAL HISTORIC SIGNIFICANCE AND IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES. TREAT THE BUILDING RESPECTFULLY AND EXISTING MATERIALS TO REMAIN AS IRREPLACEABLE. DO NOT REMOVE, ALTER, OR DISFIGURE ANY EXISTING MATERIALS,

ELEMENTS, OR FINISHES UNLESS INDICATED ON DRAWINGS,

DURING CONSTRUCTION AND IS LOCATED WITHIN ANOCCUPIED

PROVIDING TEMPORARY PROTECTION AND MAINTAINING SAFETY

DURING CONSTRUCTION ACTIVITIES, IN ORDER TO PROTECT THE

NEW CONSTRUCTION SHALL PROCEED WITH CARE SO AS NOT TO DAMAGE EXISTING FINISHES TO REMAIN. CONTRACTOR SHALL

FINISHES AS REQUIRED TO ACHIEVE A UNIFORM APPEARANCE

LIMITED FIELD INVESTIGATION AND HISTORIC DRAWINGS. THE

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND

DIMENSIONS IN THE FIELD. *NOTIFY ARCHITECT AND OWNER IF

DETERMINED IN THE FIELD TO BE DETERIORATED TO THE POINT OF IMMINENT FAILURE, PRIOR TO PROCEEDING WITH WORK.

FAILED PRECAST CONCRETE REFERS TO AREAS THAT HAVE CRACKED, DELAMINATED, OR SPALLED. STEEL REINFORCING IS

PATCH REPAIR THE VENEER PLASTER TO MATCH EXISTING.

REPLACE ALL SEALANT AND BACKING MATERIAL FOR ALL

(EXPOSED) INTERIOR FACING JOINTS BETWEEN EXTERIOR

ALT. #3:
REMOVE ALL WATER-DAMAGED PAINT AND VENEER PLASTER ON

THE INTERIOR FACE OF ALL EXTERIOR PRECAST CONCRETE WALL PANELS AND SELECT SIDE WALLS - REFER TO ROOM FINISH REPAIR

REPAINT THE ENTIRE FACE OF ALL EXTERIOR WALLS AND SELECT

PRECAST CONCRETE WALL PANELS, AS WELL AS WHERE EXTERIOR PANELS & PERPENDICULAR INTERIOR WALLS INTERSECT. REFER

EXPOSED IN SOME OF THESE AREAS.

SCHEDULES.

THE BUILDING WILL REMAIN OCCUPIED AND OPERATIONAL

SURROUNDING PEDESTRIAN AND OCCUPIED SPACES.

PATCH, REPAIR, AND/OR REPLACE ALL SURFACES AND

EXISTING MATERIALS DESIGNATED TO REMAIN ARE

AND/OR MATCH EXISTING.

EDUCATIONAL CAMPUS. CONTRACTOR IS REPONSIBLE FOR

SPECIFICATIONS, OR DIRECTED BY ARCHITECT.

TYPICAL SEVERE PATCH DETAILS, AND SPECIFICATIONS. *ASSUME 50% OF AREAS WILL REQUIRE REPLACEMENT OF STEEL REINFORCING. MINOR CONCRETE PATCH REPAIR REPAIR LOCATION WITH SURFACE FAILURE IN THE

PRECAST CONCRETE PANEL, TYPICALLY INVOLVING A SHALLOWER SECTION OF DETERIORATION, WITH NO EXPOSED STEEL REINFORCING. PATCH WITH A CUSTOM MIX TO MATCH EXISTING. REFER TO STRUCTURAL FOR TYPICAL MINOR REPAIR DETAILS, AND SPECIFICATIONS.

REPAIR LOCATION OF SEVERE FAILURE IN THE PRECAST

CONCRETE PANEL, TYPICALLY INVOLVING A DEEPER

QUINN EVANS ARCHITECTS

> 4219 WOODWARD AVE, SUITE 301 DETROIT, MI 48201

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Facilities Planning & Management Design & Construction Services 5454 Cass Ave. Detroit, MI

48202

PRENTIS BUILDING FACADE REPAIRS

5201 Cass Avenue **Detroit, MI 48202**

> QEA # 31408200 WSU # 022255015

Building #022

SECOND **FLOOR PLAN** & ROOM **FINISH** SCHEDULE

BID DOCUMENTS

04/13/2018

REVISIONS

NO. DESCRIPTION

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ROOM FINISH REPAIR SCHEDULE - GENERAL NOTES:

ALL WORK NOTED IN THE ROOM FINISH REPAIR SCHEDULE IS TO BE CONSIDERED PART OF BID ALT. #3. REFER ALSO TO THE SCOPE OF WORK NOTES & LEGEND FOR FURTHER DESCRIPTION OF THE WORK.

REPAIR AREA SCHEDULED FOR THE WALLS REFERS TO THE APPROXIMATE SQUARE FOOTAGE OF EXISTING VENEER PLASTER AND PAINT FINISH THAT IS WATER-DAMAGED, AND IN NEED OF REMOVAL AND PATCHING TO MATCH EXISTING.

ONLY ROOMS WITH EXTERIOR WALLS ARE SHOWN IN THE SCHEDULE. THERE IS NO SCOPE OF WORK AS PART OF THIS PROJECT FOR ROOMS BOUND BY INTERIOR WALLS ONLY.

ALL ROOMS ON THE SECOND AND THIRD FLOORS HAVE 8' - 6" +/- CEILING HEIGHTS (FINISHED FLOOR TO UNDERSIDE OF LAY-IN CEILING).

ALL RESILIENT BASE REPLACEMENT IS TO BE WITH 4" TALL, TRADITIONAL VINYL WALL BASE WITH TOE; COLOR: BLACK, TO MATCH EXISTING. THICKNESS TO MATCH EXISTING - CONTRACTOR TO VERIFY IN FIELD. PREP WALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS TO REMOVE EXISTING ADHESIVE, AND PROVIDE A CLEAN AND DRY SUBSTRATE, PRIOR TO INSTALLATION OF NEW BASE. ADHERE TO WALL WITH MANUFACTURER'S STANDARD ADHESIVE AND PER THEIR STANDARD INSTALLATION INSTRUCTIONS.

ALL WOOD TRIM REPLACMENT IS TO BE WITH SELECT GRADE PINE, NAILED IN PLACE, AND PAINTED TO MATCH ADJACENT EXISTING TRIM. CONTRACTOR IS TO VERIFY WIDTH AND THICKNESS OF EXISTING TRIM IN FIELD (ALL NEW TRIM IS TO MATCH EXISTING).

OWNER WILL BE RESPONSIBLE FOR MOVING ALL FURNITURE AWAY FROM THE WALLS SCHEDULED TO RECEIVE WORK. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY PROTECTION OF EXISTING FURNITURE AND FINISHES TO REMAIN, IN AND AROUND AREAS OF

CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND SCHEDULING INTERIOR WORK WITH THE OWNER AHEAD OF TIME.

THE EXISTING INTERIOR FINISHES HAVE BEEN TESTED BY THE OWNER FOR ASBESTOS CONTAINING MATERIAL (ACM). THE EXISTING VENEER PLASTER AND SEALANTS TESTED NEGATIVE FOR THE PRESENCE OF ACM. OWNER ASSUMES THE EXISTING PAINT COATINGS CONTAIN LEAD. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY PRECAUTIONS AND PERSONAL PROTECTIONS FOR CONTRACT WORKERS DURING THE SCHEDULED DISTURBANCE AND REMOVAL OF WATER-DAMAGED MATERIAL (BASED ON RESULTS OF LEAD TESTING).

2 SF OFFICE _ -_ OFFICE --OFFICE ---OFFICE 20 SF ---OFFICE 18 SF WOOD 4' - 0" -OFFICE 4 SF 16 SF WOOD WOOD 4' - 0" 1' - 0" -OFFICE 3 SF --OFFICE 3 SF -OFFICE 8 SF WOOD 2' - 0" --3 SF OPEN SPACE 1, = CORNER REPAIR WOOD 2' - 0" ---OFFICE 219.1 OFFICE ----10 SF WOMEN ---MEN OFFICE 226.2 1 SF WOOD 0' - 6" --226.3 OFFICE 3 SF ----

-

2 SF

ROOM FINISH REPAIR SCHEDULE - SECOND FLOOR

-

-

-

RESIL.

-

-

8' - 0"

WEST

-

2 SF

8 SF

1 SF

REMARKS:

226.4

226.5

226.7

226.41

NUMBER

200.1

200.2

SECOND FLOOR

ROOM NAME

RECEPTION

CONFERENCE

OFFICE

OFFICE

STORAGE

OFFICE

OFFICE

OFFICE

OFFICES

OFFICE HALL

DEAN'S OFFICE

ASST. DEAN

OFFICE

OFFICE

CONFERENCE

G1 | SECOND FLOOR PLAN

A-201 | 1/8" = 1'-0"

REPLACEMENT OF WOOD TRIM AT THE EDGE OF THE CEILING WILL REQUIRE TEMPORARY REMOVAL STORAGE, AND REINSTALLATION OF VERTICAL BLINDS.

WALLS - REPAIR AREA

SOUTH

EAST

2 SF

2 SF

1 SF

4 SF

1 SF

NORTH

2 SF

-

-

8 SF

1 SF

-

-

-

-

-

-

-

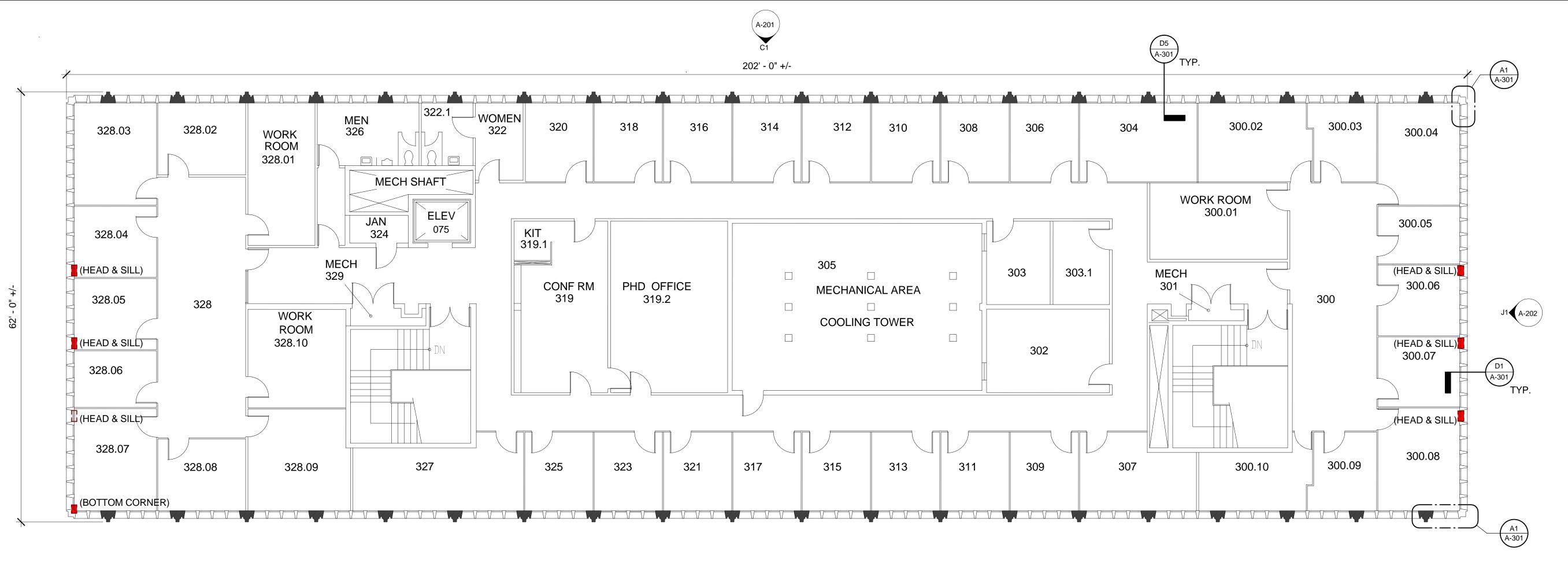
1 SF

REPLACE (2) STAINED ACOUSTICAL CEILING TILES TO MATCH EXISTING, ALONG THE EXTERIOR WALL. SPOT PREP & REPAINT RUST-STAINED AREAS ON THE EXISTING LAY-IN CEILING TILE GRID MEMBERS, ALONG THE EXTERIOR WALLS.

4 SF

2 SF

3 SF



PAINT (FINISHING OF SUCH AREAS IS COVERED IN THE ROOM FINISH REPAIR SCHEDULE AS PART OF THE ALT. #3 SCOPE OF WORK).



A-201

*NOTE: CONCRETE PATCH REPAIR AREAS SHOWN HATCHED ABOVE ON THE PLAN ARE TO BE CONSIDERED PART OF THE BASE BID SCOPE OF WORK. BASE BID SCOPE DOES NOT INCLUDE FINISHING THE PATCH AREAS WITH VENEER PLASTER OR

G1 THIRD FLOOR PLAN A-201 | 1/8" = 1'-0"

(A-202 C

D			WALLS D	EDAID ADEA			DASE	^FI	I INC TOIM	
ROOM NUMBER	ROOM NAME	NORTH	WALLS - REPAIR AREA ORTH EAST SOUTH WEST		BASE MATL. REPL. LENGTH		MATL.	LING TRIM REPL. LENGTH	REMARKS	
THIRD FLO		NONTH	LASI	300111	WLSI	IVIA I L.	KLF L. LLNGTTI		INLEEL LENGTH	ILLIVIANNO
300.02	OFFICE	-	_	_	12 SF	_		_		
300.02	OFFICE	_	-	_	2 SF	-		_		
300.04	OFFICE	12 SF	-	_	-	_		_		
300.05	OFFICE	2 SF	-	-	2 SF	_		WOOD	4' - 0"	1
300.06	OFFICE	4 SF	-	_	6 SF	RESIL.	3' - 0"	WOOD	2' - 0"	1
300.07	OFFICE	2 SF	-	_	-	RESIL.	3' - 0"	-	2 0	
300.08	OFFICE	4 SF	2 SF	_	_	RESIL.	3' - 0"	_		
300.09	OFFICE	-	12 SF	_	-	-	3 - 0	-		
300.03	OFFICE	-	8 SF	_	-	-		-		
304	OFFICE	-	-	-	_	-		<u> </u>		
30 4 306	OFFICE	-	-	-	2 SF	-		<u>-</u>		
307	OFFICE	-	6 SF	-	2 SF -	RESIL.	3' - 0"	<u>-</u> _		
308	OFFICE	-	-	-	-	RESIL.	3 - 0	WOOD	2' - 0"	1
309	OFFICE	-	2 SF		_	-			2 - 0	I
310	OFFICE	-		-	4 SF	-		-		
311	OFFICE		-	-	4 35			-		
312	OFFICE	-	-	-	4 SF	-		-		
		-	-	-		-		-		
313	OFFICE	- 2.05	-	-	-	- DECII	C! O!!	-	E! O!!	4
314	OFFICE	2 SF	-	2 SF	12 SF	RESIL.	6' - 0"	WOOD	5' - 0"	1
315	OFFICE	-	-	-	- 4.0F	-		-	401 011	4
316	OFFICE	-	-	-	4 SF	-		WOOD	10' - 0"	1
317	OFFICE	-	-	-	-	-		-	41 011	
318	OFFICE	-	-	-	4 SF	-		WOOD	4' - 0"	1
320	OFFICE	2 SF	-	-	10 SF	RESIL.	3' - 0"	-		
321	OFFICE	-	-	-	-	-		-		
322	WOMEN	-	-	-	2 SF	-		-		
323	OFFICE		-	-	-	-		-		
325	OFFICE	-	8 SF	-	-	-		-		
326	MEN	-	-	-	2 SF	-		-		
327	OFFICE	-	14 SF	-	-	-		-		
328.01	WORK ROOM	-	-	-	-	-		-		
328.02	OFFICE	-	-	-	12 SF	-		-		0000150 055 ::-
328.03	OFFICE	-	-	2 SF	2 SF	-	21 2"	-		= CORNER REPAIR
328.04	OFFICE	-	-	5 SF	-	RESIL.	3' - 0"	-		
328.05	OFFICE	-	-	5 SF	-	RESIL.	3' - 0"	-		
328.06	OFFICE	-	-	-	-	-		-		
328.07	OFFICE	-	-	6 SF	-	RESIL.	3' - 0"	-		
328.08	OFFICE	-	-	-	-	-		-		
328.09	OFFICE	-	3 SF	-	_	-		WOOD	2' - 0"	

REMARKS:

- REPLACEMENT OF WOOD TRIM AT THE EDGE OF THE CEILING WILL REQUIRE TEMPORARY REMOVAL, STORAGE, AND REINSTALLATION OF VERTICAL BLINDS.
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GENERAL NOTES

12

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13

- THE BUILDING WILL REMAIN OCCUPIED AND OPERATIONAL DURING CONSTRUCTION AND IS LOCATED WITHIN ANOCCUPIED EDUCATIONAL CAMPUS. CONTRACTOR IS REPONSIBLE FOR PROVIDING TEMPORARY PROTECTION AND MAINTAINING SAFETY DURING CONSTRUCTION ACTIVITIES, IN ORDER TO PROTECT THE SURROUNDING PEDESTRIAN AND OCCUPIED SPACES.
- NEW CONSTRUCTION SHALL PROCEED WITH CARE SO AS NOT TO DAMAGE EXISTING FINISHES TO REMAIN. CONTRACTOR SHALL PATCH, REPAIR, AND/OR REPLACE ALL SURFACES AND FINISHES AS REQUIRED TO ACHIEVE A UNIFORM APPEARANCE AND/OR MATCH EXISTING.
- INFORMATION CONTAINED IN THESE DRAWINGS IS BASED ON LIMITED FIELD INVESTIGATION AND HISTORIC DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD. *NOTIFY ARCHITECT AND OWNER IF EXISTING MATERIALS DESIGNATED TO REMAIN ARE DETERMINED IN THE FIELD TO BE DETERIORATED TO THE POINT OF IMMINENT FAILURE, PRIOR TO PROCEEDING WITH WORK.

SCOPE OF WORK NOTES & LEGEND:

- FAILED PRECAST CONCRETE REFERS TO AREAS THAT HAVE CRACKED, DELAMINATED, OR SPALLED. STEEL REINFORCING IS EXPOSED IN SOME OF THESE AREAS.

 - ALT. #3:
 REMOVE ALL WATER-DAMAGED PAINT AND VENEER PLASTER ON THE INTERIOR FACE OF ALL EXTERIOR PRECAST CONCRETE WALL PANELS AND SELECT SIDE WALLS - REFER TO ROOM FINISH REPAIR **SCHEDULES** PATCH REPAIR THE VENEER PLASTER TO MATCH EXISTING.
- REPAINT THE ENTIRE FACE OF ALL EXTERIOR WALLS AND SELECT (WHERE REPAIRED) SIDE WALLS IN EACH ROOM. REPLACE ALL SEALANT AND BACKING MATERIAL FOR ALL (EXPOSED) INTERIOR FACING JOINTS BETWEEN EXTERIOR PRECAST CONCRETE WALL PANELS, AS WELL AS WHERE EXTERIOR PANELS & PERPENDICULAR INTERIOR WALLS INTERSECT. REFER TO A1/ A-301 FOR TYPICAL JOINT PATTERN. * REFER TO THE SPECIFICATIONS.
- SEVERAL IN-PLACE PHYSICAL MOCK-UPS ARE REQUIRED FOR THIS PROJECT, AND MUST BE REVIEWED AND APPROVED PRIOR TO PROCEEDING WITH THE SCOPE OF WORK THROUGHOUT. REFER TO THE SPECIFICATIONS FOR A COMPLETE LIST AND REQUIREMENTS OF SUCH MOCK-UPS.



REPAIR LOCATION OF SEVERE FAILURE IN THE PRECAST CONCRETE PANEL. TYPICALLY INVOLVING A DEEPER SECTION OF DETERIORATION. EXPOSED REINFORCING IS KNOWN OR ASSUMED TO EXIST. PATCH WITH A CUSTOM MIX TO MATCH EXISTING. REFER TO STRUCTURAL FOR TYPICAL SEVERE PATCH DETAILS, AND SPECIFICATIONS. *ASSUME 50% OF AREAS WILL REQUIRE REPLACEMENT OF STEEL REINFORCING.

MINOR CONCRETE PATCH REPAIR: REPAIR LOCATION WITH SURFACE FAILURE IN THE PRECAST CONCRETE PANEL, TYPICALLY INVOLVING A SHALLOWER SECTION OF DETERIORATION, WITH NO EXPOSED STEEL REINFORCING. PATCH WITH A CUSTOM MIX TO MATCH EXISTING. REFER TO STRUCTURAL FOR TYPICAL MINOR REPAIR DETAILS, AND SPECIFICATIONS.



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PRENTIS BUILDING FACADE REPAIRS

5201 Cass Avenue **Detroit, MI 48202**

> QEA # 31408200 WSU # 022255015

Building #022

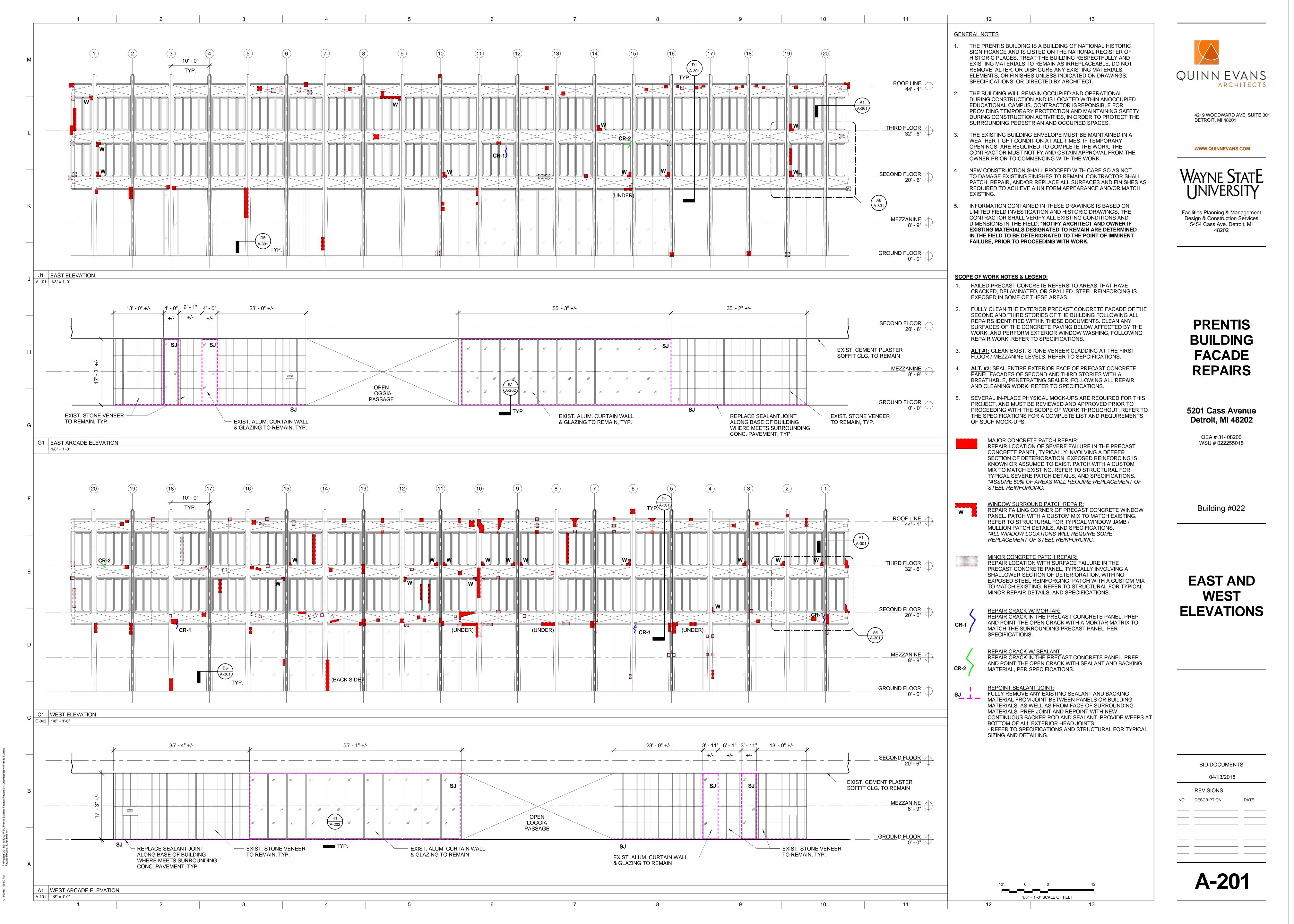
THIRD FLOOR PLAN & ROOM **FINISH** SCHEDULE

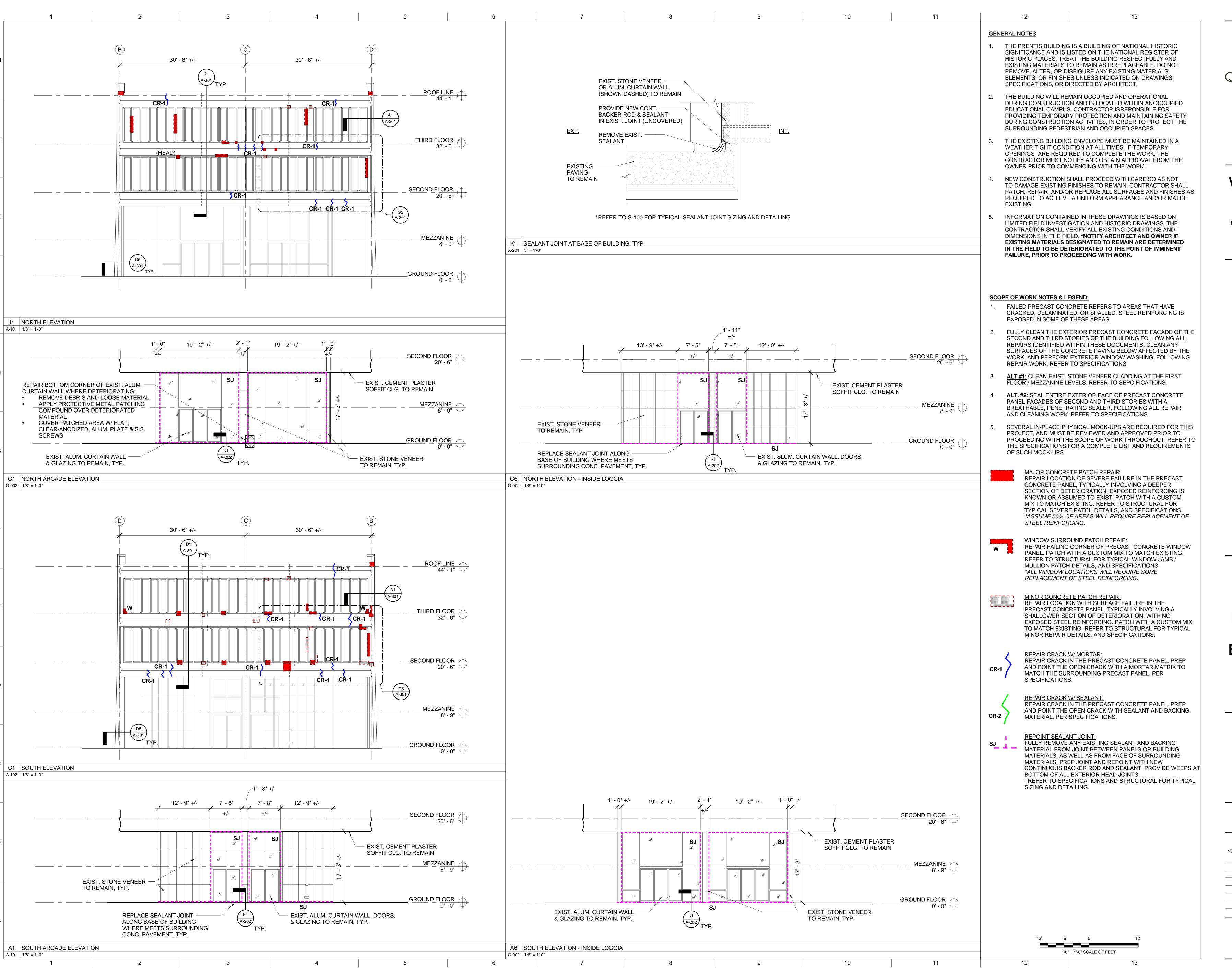
BID DOCUMENTS

04/13/2018

REVISIONS

NO. DESCRIPTION







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WAYNE STATE UNIVERSITY

Facilities Planning & Management Design & Construction Services 5454 Cass Ave. Detroit, MI

48202

PRENTIS BUILDING FACADE REPAIRS

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Building #022

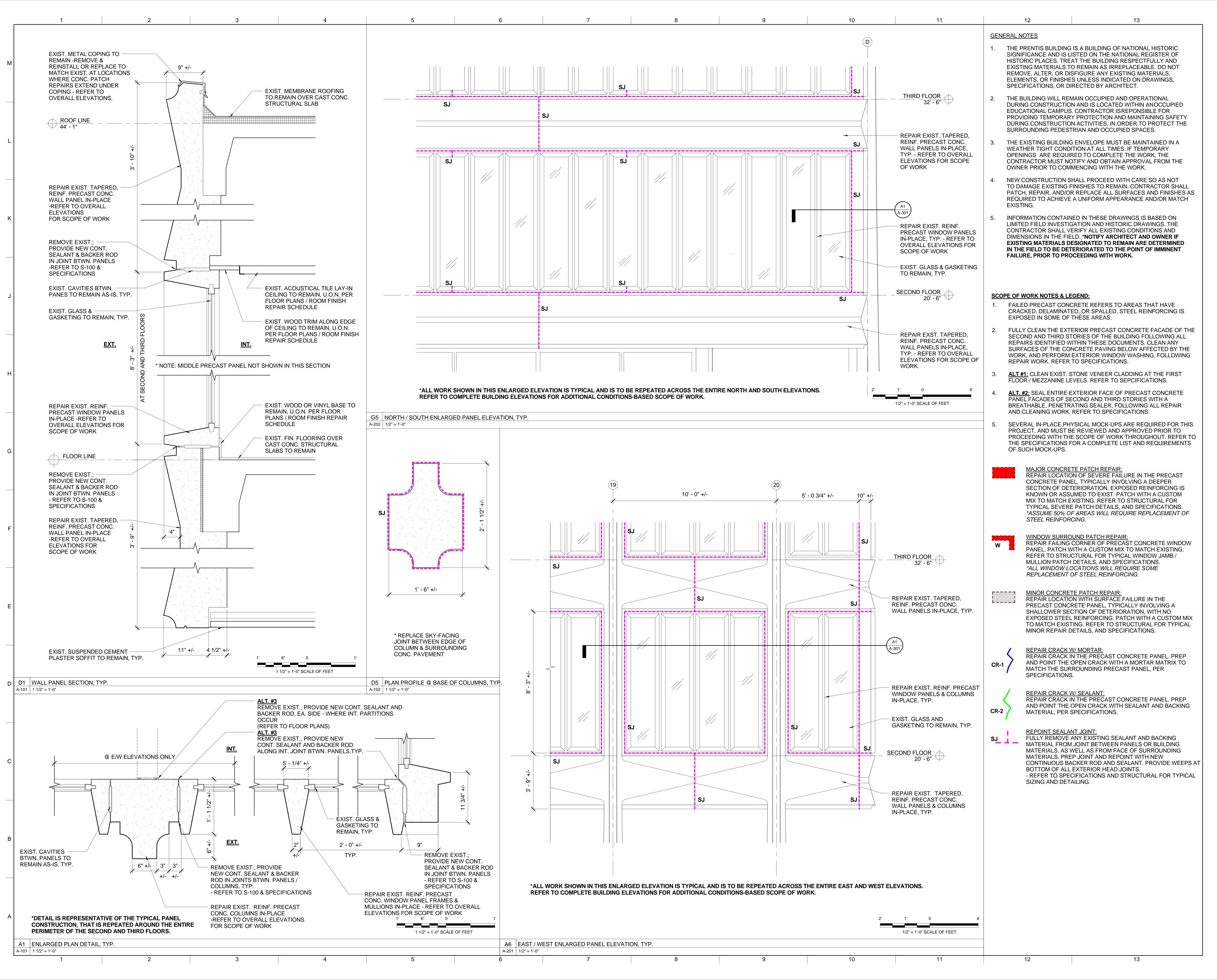
NORTH AND SOUTH ELEVATIONS

04/13/2018

REVISIONS

NO. DESCRIPTION

4-202





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PRENTIS BUILDING FACADE REPAIRS

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Building #022

TYPICAL PANEL PLANS, ELEVATIONS & SECTIONS

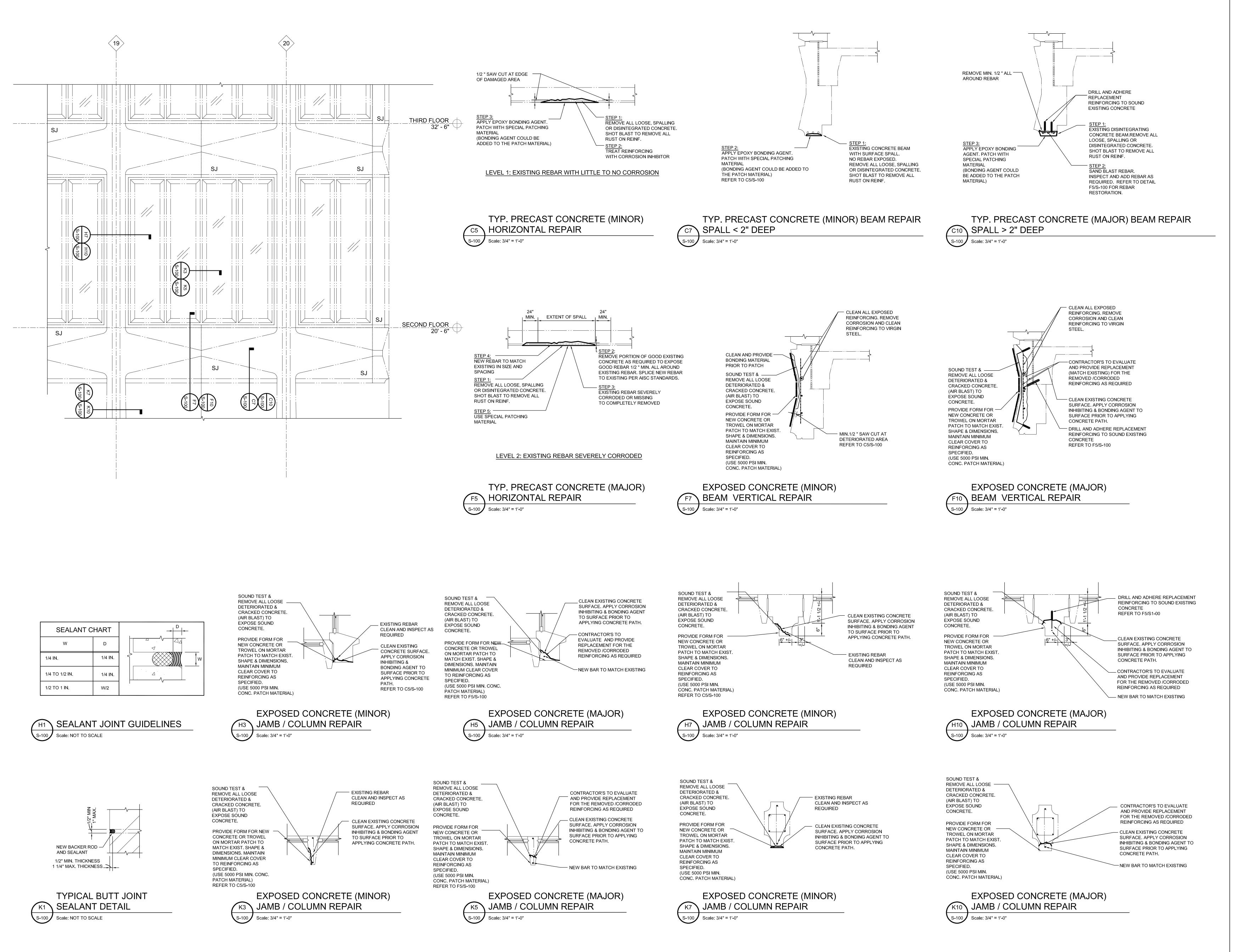
BID DOCUMENTS

04/13/2018

REVISIONS

NO. DESCRIPTION

A-301



QUINN EVANS ARCHITECTS

13

71 GARFIELD SUITE 160-B DDETROIT, MI 48201

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Facilities Planning & Management Design & Construction Services 5454 Cass Ave. Detroit, MI



PRENTIS BUILDING FACADE REPAIRS

5201 Cass Avenue Detroit, MI 48202

QEA # 31408200 OWNER # 022255015

Building #022

SECTIONS AND DETAILS

REVISIONS
NO. DESCRIPTION DATE

PRELIMINARY 09/11/2015
FOR CONSTRUCTION 04/13/2018

S-100

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13