

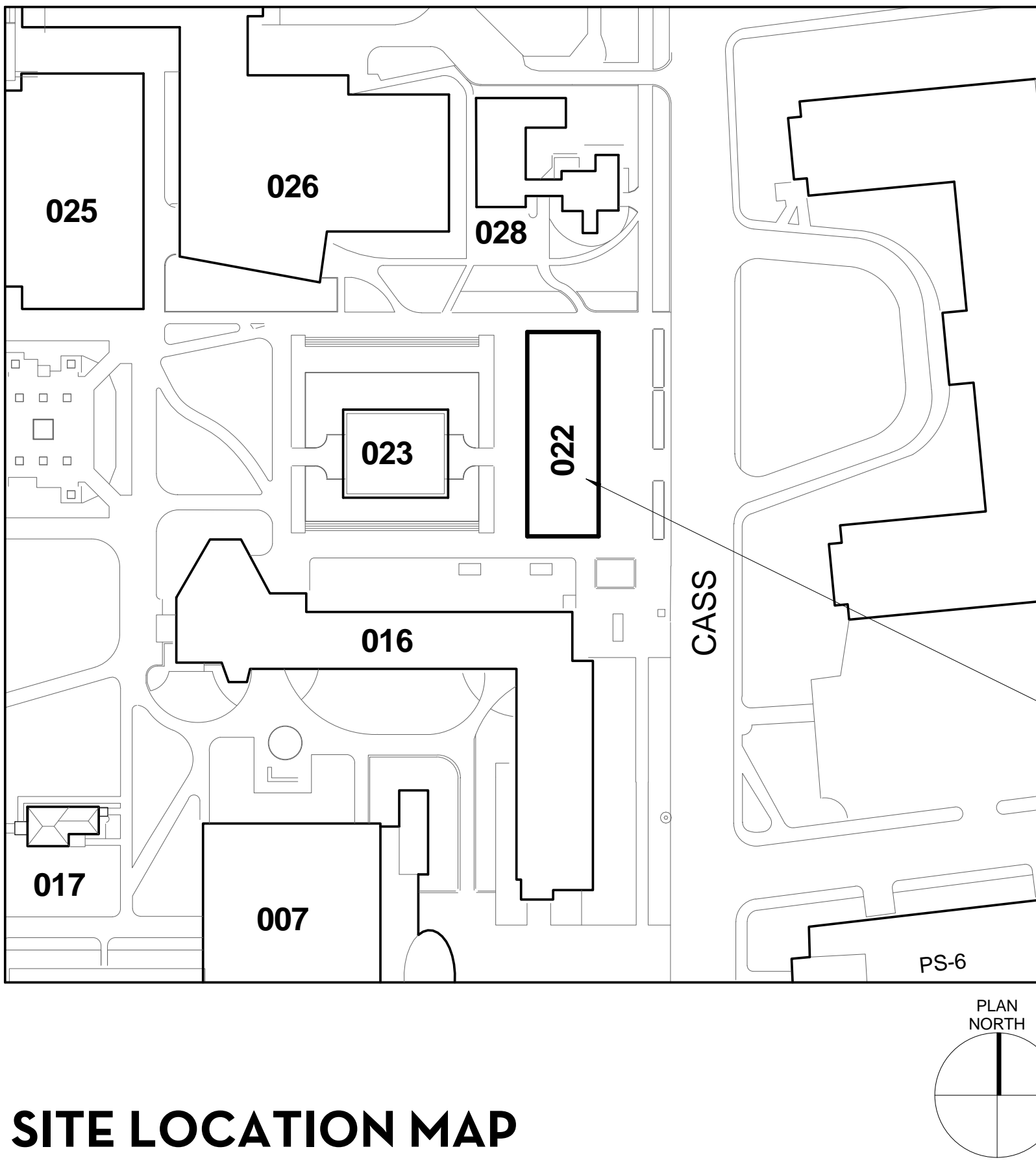


WAYNE STATE UNIVERSITY

PRENTIS BUILDING FACADE REPAIRS

Facilities Planning & Management / Design & Construction Services

WSU PN: 022 255015
QEA PN: 31408200



SITE LOCATION MAP

NOT TO SCALE

INDEX OF DRAWINGS

G-000	TITLE SHEET
G-001	INDEX/ ABBREVIATIONS /SYMBOLS /GENERAL NOTES
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S-100	SECTIONS AND DETAILS

PRELIM. CD SET 08/11/15	FINAL CD SET 11/06/15	BID SET 12/04/2015
○	○	●
○	○	●
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○	○	●
○	○	●
○	○	●

○ PREVIOUS ISSUE
● CURRENT ISSUE
○ POTENTIAL FUTURE ISSUE

THE MEYER AND ANNA
PRENTIS BUILDING (PREN)
5201 CASS AVENUE
DETROIT, MI 48202



71 GARFIELD SUITE 160-B
DETROIT, MI 48201

v 313 887 9560
f 734 663 5044

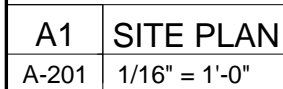
WWW.QUINNEVANS.COM

PROJECT TEAM

OWNER:
WAYNE STATE UNIVERSITY
FACILITIES PLANNING AND MANAGEMENT
DESIGN AND CONSTRUCTION SERVICES
5454 CASS AVE.
DETROIT, MI 48202

ARCHITECT:
QUINN EVANS / ARCHITECTS
4219 WOODWARD AVE SUITE 301
DETROIT, MI 48201
P: (734) 663-5888
F: (734) 663-5044
www.quinnevans.com

STRUCTURAL:
DESAI/NASR CONSULTING ENGINEERS
6765 DALY ROAD
WEST BLOOMFIELD, MI 48322
P: (248) 932-2010
F: (248) 932-3088



AREA OF SITE IMPACTED BY MIDTOWN LOOP SITE IMPROVEMENT PROJECT ALONG CASS AVENUE, UNDER SEPARATE CONTRACT. CONSTRUCTION IS ANTICIPATED TO BE SCHEDULED CONCURRENT WITH THIS PROJECT. CONTRACTOR IS TO COORDINATE STAGING AND ACCESS WITH THEIR ON-SITE SUPERVISORS TO AVOID CONFLICTS AND DELAYS.

1. THE PRENTISS BUILDING IS A BUILDING OF NATIONAL HISTORIC SIGNIFICANCE AND IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES. TREAT THE BUILDING RESPECTFULLY AND EXISTING MATERIALS WILL REMAIN AS IRREMOVABLE. DO NOT REMOVE, ALTER, OR DISPLACE ANY EXISTING MATERIALS, ELEMENTS, OR FINISHES UNLESS INDICATED ON DRAWINGS, SPECIFICATIONS, OR DIRECTED BY ARCHITECT.
2. THE BUILDING WILL REMAIN OCCUPIED AND OPERATIONAL DURING CONSTRUCTION AND IS LOCATED WITHIN AN OCCUPIED EDUCATIONAL CAMPUS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY PROTECTION AND MAINTAINING SAFETY DURING CONSTRUCTION ACTIVITIES, IN ORDER TO PROTECT THE SURROUNDING PEDESTRIAN AND OCCUPIED SPACES.
3. THE EXISTING BUILDING ENVELOPE MUST BE MAINTAINED IN A WEATHER TIGHT CONDITION AT ALL TIMES. IF TEMPORARY OPENINGS ARE REQUIRED TO COMPLETE THE WORK, THE CONTRACTOR MUST NOTIFY AND OBTAIN APPROVAL FROM THE OWNER PRIOR TO COMMENCING WITH THE WORK.
4. **OBTAIN APPROVAL FROM WAYNE STATE UNIVERSITY FIRE MARSHALL FOR LOCATIONS TO STAGE AND STORE MATERIALS, INCLUDING COMBUSTIBLE AND FLAMMABLE MATERIALS, AND FIRE EXTINGUISHING EQUIPMENT.** ALL MICHIGAN OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS MUST BE FOLLOWED REGARDING FIRE SAFETY PROCEDURES.
5. INFORMATION CONTAINED IN THESE DRAWINGS IS BASED ON LIMITED FIELD INVESTIGATION AND HISTORIC DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD. **"NOTIFY ARCHITECT AND OWNER OF ANY EXISTING MATERIALS OR CONDITIONS THAT ARE DETERMINED IN THE FIELD TO BE DETEIORATED TO THE POINT OF IMMINENT FAILURE, PRIOR TO PROCEEDING WITH WORK.**

- THIS DRAWING IS PROVIDED AS AN OVERVIEW OF SITE STAGING REQUIREMENTS, TO ASSIST THE CONTRACTOR IN UNDERSTANDING SITE ACCESS AND CONSTRAINTS AND WITH PREPARATION OF THE WORK PLAN FOR CONSTRUCTION OF THE PROJECT. THE INFORMATION ON THIS DRAWING DOES NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY FOR THE SAFETY AND SECURITY OF THE JOBSITE, MEANS AND METHODS OF CONSTRUCTION, SCHEDULING AND SEQUENCING OF THE WORK, PROTECTION OF THE GENERAL PUBLIC, OR PREPARATION OF A COMPREHENSIVE WORK PLAN FOR THE PROJECT.
2. MAINTAIN REQUIRED MEANS OF EGRESS AND ACCESSIBLE BARRIER-FREE ROUTES TO FROM, AND AROUND BUILDING THROUGHOUT THE ENTIRE DURATION OF CONSTRUCTION. DO NOT BLOCK OR REMOVE FROM SERVICE ANY BUILDING ENTRANCE, PUBLIC ROUTE, OR MEANS OF EGRESS UNLESS AN ALTERNATE ROUTE IS APPROVED AS PART OF THE CONTRACTOR'S GENERAL WORK PLAN, SCHEDULE AND SEQUENCE THE WORK SO AS TO MINIMIZE THE IMPACT OF CONSTRUCTION ON PUBLIC ROUTES. PROVIDE HARD BARRICADES OR OTHER TEMPORARY PROTECTION AS NECESSARY TO PROTECT BUILDING ENTRANCES / EXITS AND PUBLIC ROUTES. **OBTAIN APPROVAL FROM WAYNE STATE UNIVERSITY FIRE MARSHAL FOR PROPOSED SECURITY AND BARRICADING MEASURES / LAYOUTS.**
3. CONTRACTOR ACCESS TO THE BUILDING INTERIOR IS PROHIBITED, EXCEPT TO PERFORM ANY SPECIFIC, IDENTIFIED INTERIOR SCOPE OF WORK. CONTRACTOR IS TO COORDINATE AND OBTAIN APPROVAL OF THE SCHEDULING OF ANY INTERIOR WORK WITH THE OWNER PRIOR TO COMMENCEMENT OF THE PROJECT.
4. PROVIDE TEMPORARY PROTECTION OF EXISTING LANDSCAPE FEATURES. RESTORE EXISTING SITE AND LANDSCAPE FEATURES AND BUILDING ELEMENTS DAMAGED BY CONSTRUCTION OPERATIONS AND MATERIALS.
5. PROVIDE TEMPORARY PROTECTION OF EXISTING FINISHES ALONG THE ACCESS ROUTE TO AND FROM THE AREA OF WORK. RESTORE ALL LAWN AREAS, SURFACES AND BUILDING ELEMENTS DAMAGED DURING CONSTRUCTION.
6. COORDINATE LOCATION FOR APPROVED CONTRACTOR PARKING WITH THE OWNER, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
7. CONTRACTOR IS RESPONSIBLE FOR PROVIDING THEIR OWN ACCESS TO PERFORM THE WORK TO THE EXTERIOR OF THE UPPER FLOORS OF THE BUILDING. CONTRACTOR MUST SUBMIT WRITTEN ACCESS PLAN, INCLUDING LIFT SPECIFICATIONS AND / OR FOLDING PLANS FOR REVIEW AND APPROVAL, PRIOR TO COMMENCEMENT OF CONSTRUCTION, WITH COMPLETE INFORMATION AND CALCULATIONS SHOWING COMPLIANCE WITH THE LOADING LIMITATIONS OUTLINED IN THE LEGEND BELOW. ANY SYSTEMS PROPOSED USING ALTERNATE LOADING COMPLIANCE MUST INCLUDE CALCULATIONS PREPARED BY A PROFESSIONAL ENGINEER, LICENSED IN THE STATE OF MICHIGAN.
8. THE CONTRACTOR SHALL CLEAN ALL WORK AREAS AT THE END OF EACH WORK DAY.
9. PROVIDE TEMPORARY RESTROOM FACILITIES FOR CONSTRUCTION PERSONNEL. USE OF UNIVERSITY FACILITIES IS PROHIBITED.
10. FLAMMABLE STORAGE MUST BE LOCATED A MINIMUM OF 25'-0" FROM THE EDGE OF ANY BUILDING.

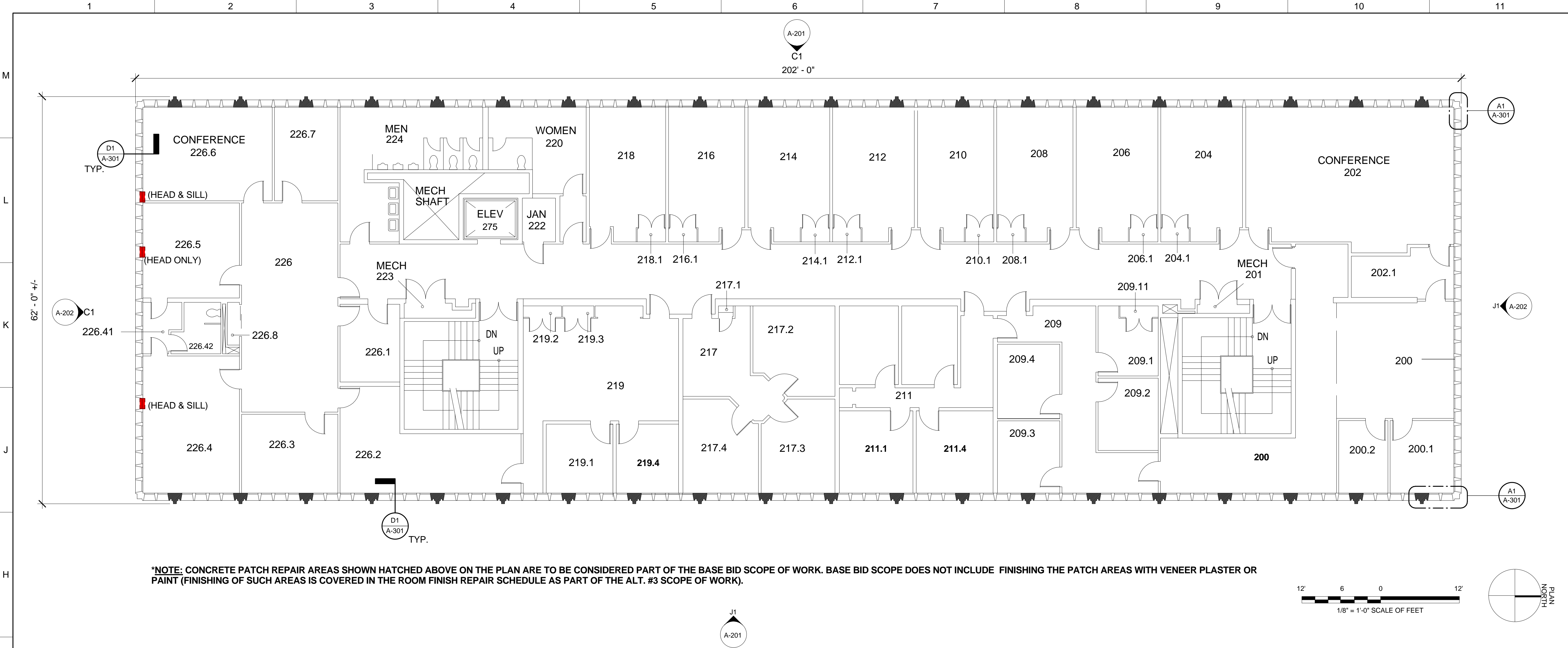


QEA # 31408200
WSU # 022255015

SITE, STAGING, & LOGISTICS PLAN

[illegible]

G-002



G1 SECOND FLOOR PLAN
A-201 1/8" = 1'-0"

ROOM FINISH REPAIR SCHEDULE - SECOND FLOOR										
ROOM NUMBER	ROOM NAME	WALLS - REPAIR AREA				BASE		CEILING TRIM		REMARKS
		NORTH	EAST	SOUTH	WEST	MATL.	REPL. LENGTH	MATL.	REPL. LENGTH	
SECOND FLOOR										
200	RECEPTION	2 SF	10 SF	-	-	-		-		
200.1	OFFICE	-	2 SF	-	-	-				
200.2	OFFICE	-	8 SF	-	-	-		WOOD	8' - 0"	1
202	CONFERENCE	8 SF	-	-	2 SF	-		WOOD	2' - 0"	1
202.1	STORAGE	1 SF	-	-	-	RESIL.	8' - 0"			
204	OFFICE	-	-	-	8 SF	-		-		
206	OFFICE	-	-	-	-	-				
208	OFFICE	-	-	-	1 SF	-		-		
209	OFFICE HALL	-	2 SF	-	-	-				
209.3	OFFICES	-	1 SF	-	-	-		WOOD	2' - 0"	1
210	OFFICE	-	-	-	2 SF	-				
211.1	OFFICE	-	-	-	-	-		-		
211.2	OFFICE	-	-	-	-	-		-		
212	OFFICE	-	-	-	20 SF	-		-		
214	OFFICE	-	-	-	18 SF	WOOD	4' - 0"	-		
216	OFFICE	-	-	4 SF	16 SF	WOOD	4' - 0"	WOOD	1' - 0"	1
217.3	OFFICE	-	3 SF	-	-	-		-		
217.4	OFFICE	-	3 SF	-	-	-		-		
218	OFFICE	-	-	-	8 SF	-		WOOD	2' - 0"	1
219	OPEN SPACE	-	-	3 SF	-	-		WOOD	2' - 0"	1, = CORNER REPAIR
219.1	OFFICE	-	-	-	-	-				
219.4	OFFICE	-	-	-	-	-		-		
220	WOMEN	-	-	-	10 SF	-		-		
224	MEN	-	-	-	-	-				
226.2	OFFICE	-	-	1 SF	-	-		WOOD	0' - 6"	1
226.3	OFFICE	-	3 SF	-	-	-		-		
226.4	DEAN'S OFFICE	-	4 SF	4 SF	-	-		-		2
226.5	ASST. DEAN	-	-	2 SF	-	-		-		
226.6	CONFERENCE	-	-	4 SF	-	-		-		
226.7	OFFICE	1 SF	-	-	2 SF	-		-		
226.41	OFFICE	-	1 SF	3 SF	-	-		-		

REMARKS:

- REPLACEMENT OF WOOD TRIM AT THE EDGE OF THE CEILING WILL REQUIRE TEMPORARY REMOVAL, STORAGE, AND REINSTALLATION OF VERTICAL BLINDS.
- REPLACE (2) STAINED ACOUSTICAL CEILING TILES TO MATCH EXISTING, ALONG THE EXTERIOR WALL. SPOT PREP & REPAINT RUST-STAINED AREAS ON THE EXISTING LAY-IN CEILING TILE GRID MEMBERS, ALONG THE EXTERIOR WALLS.

ROOM FINISH REPAIR SCHEDULE - GENERAL NOTES:

- ALL WORK NOTED IN THE ROOM FINISH REPAIR SCHEDULE IS TO BE CONSIDERED PART OF BID ALT. #3. REFER ALSO TO THE SCOPE OF WORK NOTES & LEGEND FOR FURTHER DESCRIPTION OF THE WORK.
- REPAIR AREA SCHEDULED FOR THE WALLS REFERS TO THE APPROXIMATE SQUARE FOOTAGE OF EXISTING VENEER PLASTER AND PAINT FINISH THAT IS WATER-DAMAGED, AND IN NEED OF REMOVAL AND PATCHING TO MATCH EXISTING.
- ONLY ROOMS WITH EXTERIOR WALLS ARE SHOWN IN THE SCHEDULE. THERE IS NO SCOPE OF WORK AS PART OF THIS PROJECT FOR ROOMS BOUND BY INTERIOR WALLS ONLY.
- ALL ROOMS ON THE SECOND AND THIRD FLOORS HAVE 8' - 6" +/- CEILING HEIGHTS (FINISHED FLOOR TO UNDERSIDE OF LAY-IN CEILING).
- ALL RESILIENT BASE REPLACEMENT IS TO BE WITH 4" TALL, TRADITIONAL VINYL WALL BASE WITH TOE; COLOR: BLACK. TO MATCH EXISTING. THICKNESS TO MATCH EXISTING - CONTRACTOR TO VERIFY IN FIELD. PREP WALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS TO REMOVE EXISTING ADHESIVE, AND PROVIDE A CLEAN AND DRY SUBSTRATE. PRIOR TO INSTALLATION OF NEW BASE. ADHERE TO WALL WITH MANUFACTURER'S STANDARD ADHESIVE AND PER THEIR STANDARD INSTALLATION INSTRUCTIONS.
- ALL WOOD TRIM REPLACEMENT IS TO BE WITH SELECT GRADE PINE, NAILED IN PLACE, AND PAINTED TO MATCH ADJACENT EXISTING TRIM. CONTRACTOR IS TO VERIFY WIDTH AND THICKNESS OF EXISTING TRIM IN FIELD (ALL NEW TRIM IS TO MATCH EXISTING).
- OWNER WILL BE RESPONSIBLE FOR MOVING ALL FURNITURE AWAY FROM THE WALLS SCHEDULED TO RECEIVE WORK. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY PROTECTION OF EXISTING FURNITURE AND FINISHES TO REMAIN, IN AND AROUND AREAS OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND SCHEDULING INTERIOR WORK WITH THE OWNER AHEAD OF TIME.
- THE EXISTING INTERIOR FINISHES HAVE BEEN TESTED BY THE OWNER FOR ASBESTOS CONTAINING MATERIAL (ACM). THE EXISTING VENEER PLASTER AND SEALANTS TESTED NEGATIVE FOR THE PRESENCE OF ACM. OWNER ASSUMES THE EXISTING PAINT COATINGS CONTAIN LEAD. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY PRECAUTIONS AND PERSONAL PROTECTIONS FOR CONTRACT WORKERS DURING THE SCHEDULED DISTURBANCE AND REMOVAL OF WATER-DAMAGED MATERIAL (BASED ON RESULTS OF LEAD TESTING).

GENERAL NOTES

- THE PRENTIS BUILDING IS A BUILDING OF NATIONAL HISTORIC SIGNIFICANCE AND IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES. TREAT THE BUILDING RESPECTFULLY AND EXISTING MATERIALS TO REMAIN AS IRREPLACEABLE. DO NOT REMOVE, ALTER, OR DISFIGURE ANY EXISTING MATERIALS, ELEMENTS, OR FINISHES UNLESS INDICATED ON DRAWINGS, SPECIFICATIONS, OR DIRECTED BY ARCHITECT.
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- NEW CONSTRUCTION SHALL PROCEED WITH CARE SO AS NOT TO DAMAGE EXISTING FINISHES TO REMAIN. CONTRACTOR SHALL PATCH, REPAIR, AND/OR REPLACE ALL SURFACES AND FINISHES AS REQUIRED TO ACHIEVE A UNIFORM APPEARANCE AND/OR MATCH EXISTING.
- INFORMATION CONTAINED IN THESE DRAWINGS IS BASED ON LIMITED FIELD INVESTIGATION AND HISTORIC DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD. ***NOTIFY ARCHITECT AND OWNER IF EXISTING MATERIALS DESIGNATED TO REMAIN ARE DETERMINED IN THE FIELD TO BE DETERIORATED TO THE POINT OF IMMINENT FAILURE, PRIOR TO PROCEEDING WITH WORK.**

SCOPE OF WORK NOTES & LEGEND:

- FAILED PRECAST CONCRETE REFERS TO AREAS THAT HAVE CRACKED, DELAMINATED, OR SPALLED. STEEL REINFORCING IS EXPOSED IN SOME OF THESE AREAS.
- ALT. #3:**
 - REMOVE ALL WATER-DAMAGED PAINT AND VENEER PLASTER ON THE INTERIOR FACE OF ALL EXTERIOR PRECAST CONCRETE WALL PANELS AND SELECT SIDE WALLS - REFER TO ROOM FINISH REPAIR SCHEDULES.
 - PATCH REPAIR THE VENEER PLASTER TO MATCH EXISTING.
 - REPAINT THE ENTIRE FACE OF ALL EXTERIOR WALLS AND SELECT (WHERE REPAIRED) SIDE WALLS IN EACH ROOM.
 - REPLACE ALL SEALANT AND BACKING MATERIAL FOR ALL (EXPOSED) INTERIOR FACING JOINTS BETWEEN EXTERIOR PRECAST CONCRETE WALL PANELS, AS WELL AS WHERE EXTERIOR PANELS & PERPENDICULAR INTERIOR WALLS INTERSECT. REFER TO A1/ A-301 FOR TYPICAL JOINT PATTERN.
 - * REFER TO THE SPECIFICATIONS.
- SEVERAL IN-PLACE PHYSICAL MOCK-UPS ARE REQUIRED FOR THIS PROJECT, AND MUST BE REVIEWED AND APPROVED PRIOR TO PROCEEDING WITH THE SCOPE OF WORK THROUGHOUT. REFER TO THE SPECIFICATIONS FOR A COMPLETE LIST AND REQUIREMENTS OF SUCH MOCK-UPS.

MAJOR CONCRETE PATCH REPAIR:
REPAIR LOCATION OF SEVERE FAILURE IN THE PRECAST CONCRETE PANEL, TYPICALLY INVOLVING A DEEPER SECTION OF DETERIORATION. EXPOSED REINFORCING IS KNOWN OR ASSUMED TO EXIST. PATCH WITH A CUSTOM MIX TO MATCH EXISTING. REFER TO STRUCTURAL FOR TYPICAL SEVERE PATCH DETAILS, AND SPECIFICATIONS. **ASSUME 50% OF AREAS WILL REQUIRE REPLACEMENT OF STEEL REINFORCING.*

MINOR CONCRETE PATCH REPAIR:
REPAIR LOCATION WITH SURFACE FAILURE IN THE PRECAST CONCRETE PANEL, TYPICALLY INVOLVING A SHALLOWER SECTION OF DETERIORATION, WITH NO EXPOSED STEEL REINFORCING. PATCH WITH A CUSTOM MIX TO MATCH EXISTING. REFER TO STRUCTURAL FOR TYPICAL MINOR REPAIR DETAILS, AND SPECIFICATIONS.

PRENTIS
BUILDING
FACADE
REPAIRS

5201 Cass Avenue
Detroit, MI 48202

QEA # 31408200
WSU # 022255015

Building #022

SECOND
FLOOR PLAN
& ROOM
FINISH
SCHEDULE

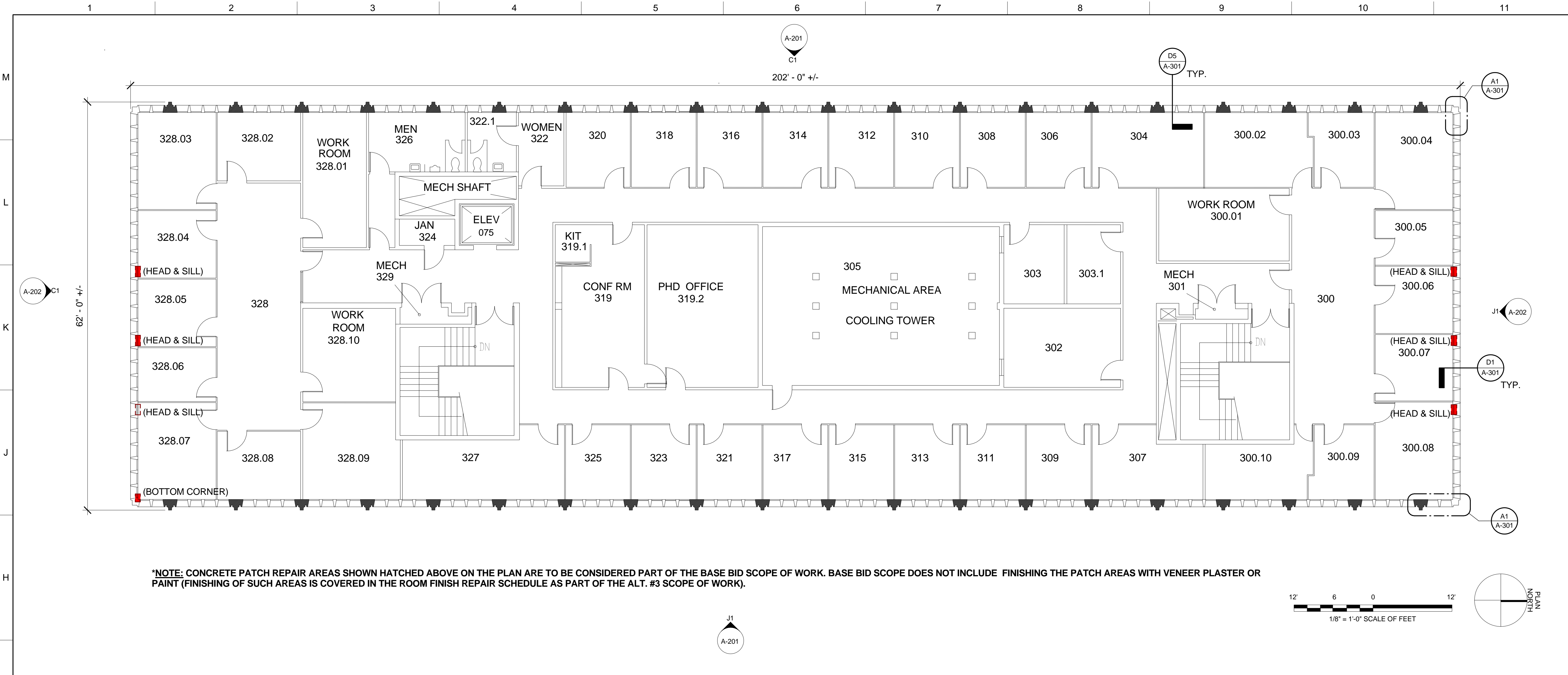
BID DOCUMENTS

04/13/2018

REVISIONS

NO. DESCRIPTION DATE

A-101





G1 THIRD FLOOR PLAN
A-201 1/8" = 1'-0"

		ROOM FINISH REPAIR SCHEDULE - THIRD FLOOR										
		ROOM NUMBER	ROOM NAME	WALLS - REPAIR AREA				BASE		CEILING TRIM		REMARKS
				NORTH	EAST	SOUTH	WEST	MATL.	REPL. LENGTH	MATL.	REPL. LENGTH	
		THIRD FLOOR										
F		300.02	OFFICE	-	-	-	12 SF	-		-		
		300.03	OFFICE	-	-	-	2 SF	-		-		
		300.04	OFFICE	12 SF	-	-	-	-		-		
		300.05	OFFICE	2 SF	-	-	2 SF	-		WOOD	4' - 0"	1
		300.06	OFFICE	4 SF	-	-	6 SF	RESIL	3' - 0"	WOOD	2' - 0"	1
		300.07	OFFICE	2 SF	-	-	-	RESIL	3' - 0"	-		
		300.08	OFFICE	4 SF	2 SF	-	-	RESIL.	3' - 0"	-		
		300.09	OFFICE	-	12 SF	-	-	-	-	-		
		300.10	OFFICE	-	8 SF	-	-	-	-	-		
		304	OFFICE	-	-	-	-	-	-	-		
E		306	OFFICE	-	-	-	2 SF	-	-	-		
		307	OFFICE	-	6 SF	-	-	RESIL.	3' - 0"	-		
		308	OFFICE	-	-	-	-	-	WOOD	2' - 0"	1	
		309	OFFICE	-	2 SF	-	-	-	-	-		
		310	OFFICE	-	-	-	4 SF	-	-	-		
		311	OFFICE	-	-	-	-	-	-	-		
		312	OFFICE	-	-	-	4 SF	-	-	-		
		313	OFFICE	-	-	-	-	-	-	-		
		314	OFFICE	2 SF	-	2 SF	12 SF	RESIL.	6' - 0"	WOOD	5' - 0"	1
		315	OFFICE	-	-	-	-	-	-	-		
D		316	OFFICE	-	-	-	4 SF	-	-	WOOD	10' - 0"	1
		317	OFFICE	-	-	-	-	-	-	-		
		318	OFFICE	-	-	-	4 SF	-	-	WOOD	4' - 0"	1
		320	OFFICE	2 SF	-	-	10 SF	RESIL.	3' - 0"	-		
		321	OFFICE	-	-	-	-	-	-	-		
		322	WOMEN	-	-	-	2 SF	-	-	-		
		323	OFFICE	-	-	-	-	-	-	-		
		325	OFFICE	-	8 SF	-	-	-	-	-		
		326	MEN	-	-	-	2 SF	-	-	-		
		327	OFFICE	-	14 SF	-	-	-	-	-		
C		328.01	WORK ROOM	-	-	-	-	-	-	-		
		328.02	OFFICE	-	-	-	12 SF	-	-	-		
		328.03	OFFICE	-	-	2 SF	2 SF	-	-	-		= CORNER REPAIR
		328.04	OFFICE	-	-	5 SF	-	RESIL	3' - 0"	-		
		328.05	OFFICE	-	-	5 SF	-	RESIL.	3' - 0"	-		
		328.06	OFFICE	-	-	-	-	-	-	-		
		328.07	OFFICE	-	-	6 SF	-	RESIL.	3' - 0"	-		
		328.08	OFFICE	-	-	-	-	-	-	-		
		328.09	OFFICE	-	3 SF	-	-	-	-	WOOD	2' - 0"	
			<u>REMARKS:</u>									
		1. REPLACEMENT OF WOOD TRIM AT THE EDGE OF THE CEILING WILL REQUIRE TEMPORARY REMOVAL, STORAGE, AND REINSTALLATION OF VERTICAL BLINDS.										
		2. REPLACE (2) STAINED ACOUSTICAL CEILING TILES TO MATCH EXISTING, ALONG THE EXTERIOR WALL. SPOT PREP & REPAINT RUST-STAINED AREAS ON THE EXISTING LAY-IN CEILING TILE GRID MEMBERS, ALONG THE EXTERIOR WALLS.										

ROOM FINISH REPAIR SCHEDULE - GENERAL NOTES:

- ALL WORK NOTED IN THE ROOM FINISH REPAIR SCHEDULE IS TO BE CONSIDERED PART OF BID ALT. #3. REFER ALSO TO THE SCOPE OF WORK NOTES & LEGEND FOR FURTHER DESCRIPTION OF THE WORK.
- REPAIR AREA SCHEDULED FOR THE WALLS REFERS TO THE APPROXIMATE SQUARE FOOTAGE OF EXISTING VENEER PLASTER AND PAINT FINISH THAT IS WATER-DAMAGED, AND IN NEED OF REMOVAL AND PATCHING TO MATCH EXISTING.
- ONLY ROOMS WITH EXTERIOR WALLS ARE SHOWN IN THE SCHEDULE. THERE IS NO SCOPE OF WORK AS PART OF THIS PROJECT FOR ROOMS BOUND BY INTERIOR WALLS ONLY.
- ALL ROOMS ON THE SECOND AND THIRD FLOORS HAVE 8' - 6" +/- CEILING HEIGHTS (FINISHED FLOOR TO UNDERSIDE OF LAY-IN CEILING).
- ALL RESILIENT BASE REPLACEMENT IS TO BE WITH 4" TALL, TRADITIONAL VINYL WALL BASE WITH TOE; COLOR: BLACK, TO MATCH EXISTING. THICKNESS TO MATCH EXISTING - CONTRACTOR TO VERIFY IN FIELD. PREP WALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS TO REMOVE EXISTING ADHESIVE, AND PROVIDE A CLEAN AND DRY SUBSTRATE. PRIOR TO INSTALLATION OF NEW BASE. ADHERE TO WALL WITH MANUFACTURER'S STANDARD ADHESIVE AND PER THEIR STANDARD INSTALLATION INSTRUCTIONS.
- ALL WOOD TRIM REPLACEMENT IS TO BE WITH SELECT GRADE PINE, NAILED IN PLACE, AND PAINTED TO MATCH ADJACENT EXISTING TRIM. CONTRACTOR IS TO VERIFY WIDTH AND THICKNESS OF EXISTING TRIM IN FIELD (ALL NEW TRIM IS TO MATCH EXISTING).
- OWNER WILL BE RESPONSIBLE FOR MOVING ALL FURNITURE AWAY FROM THE WALLS SCHEDULED TO RECEIVE WORK. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY PROTECTION OF EXISTING FURNITURE AND FINISHES TO REMAIN, IN AND AROUND AREAS OF WORK.
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- THE EXISTING INTERIOR FINISHES HAVE BEEN TESTED BY THE OWNER FOR ASBESTOS CONTAINING MATERIAL (ACM). THE EXISTING VENEER PLASTER AND SEALANTS TESTED NEGATIVE FOR THE PRESENCE OF ACM. OWNER ASSUMES THE EXISTING PAINT COATINGS CONTAIN LEAD. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY PRECAUTIONS AND PERSONAL PROTECTIONS FOR CONTRACT WORKERS DURING THE SCHEDULED DISTURBANCE AND REMOVAL OF WATER-DAMAGED MATERIAL (BASED ON RESULTS OF LEAD TESTING).

- GENERAL NOTES**
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- SCOPE OF WORK NOTES & LEGEND:**
- FAILED PRECAST CONCRETE REFERS TO AREAS THAT HAVE CRACKED, DELAMINATED, OR SPALLED. STEEL REINFORCING IS EXPOSED IN SOME OF THESE AREAS.
 - ALT. #3:**
 - REMOVE ALL WATER-DAMAGED PAINT AND VENEER PLASTER ON THE INTERIOR FACE OF ALL EXTERIOR PRECAST CONCRETE WALL PANELS AND SELECT SIDE WALLS - REFER TO ROOM FINISH REPAIR SCHEDULES.
 - PATCH REPAIR THE VENEER PLASTER TO MATCH EXISTING.
 - REPAINT THE ENTIRE FACE OF ALL EXTERIOR WALLS AND SELECT (WHERE REPAIRED) SIDE WALLS IN EACH ROOM.
 - REPLACE ALL SEALANT AND BACKING MATERIAL FOR ALL (EXPOSED) INTERIOR FACING JOINTS BETWEEN EXTERIOR PRECAST CONCRETE WALL PANELS, AS WELL AS WHERE EXTERIOR PANELS & PERPENDICULAR INTERIOR WALLS INTERSECT. REFER TO A1/ A-301 FOR TYPICAL JOINT PATTERN.
 - * REFER TO THE SPECIFICATIONS.
 - SEVERAL IN-PLACE PHYSICAL MOCK-UPS ARE REQUIRED FOR THIS PROJECT, AND MUST BE REVIEWED AND APPROVED PRIOR TO PROCEEDING WITH THE SCOPE OF WORK THROUGHOUT. REFER TO THE SPECIFICATIONS FOR A COMPLETE LIST AND REQUIREMENTS OF SUCH MOCK-UPS.

-  **MAJOR CONCRETE PATCH REPAIR:**
REPAIR LOCATION OF SEVERE FAILURE IN THE PRECAST CONCRETE PANEL, TYPICALLY INVOLVING A DEEPER SECTION OF DETERIORATION. EXPOSED REINFORCING IS KNOWN OR ASSUMED TO EXIST. PATCH WITH A CUSTOM MIX TO MATCH EXISTING. REFER TO STRUCTURAL FOR TYPICAL SEVERE PATCH DETAILS, AND SPECIFICATIONS. **ASSUME 50% OF AREAS WILL REQUIRE REPLACEMENT OF STEEL REINFORCING.*
-  **MINOR CONCRETE PATCH REPAIR:**
REPAIR LOCATION WITH SURFACE FAILURE IN THE PRECAST CONCRETE PANEL, TYPICALLY INVOLVING A SHALLOWER SECTION OF DETERIORATION, WITH NO EXPOSED STEEL REINFORCING. PATCH WITH A CUSTOM MIX TO MATCH EXISTING. REFER TO STRUCTURAL FOR TYPICAL MINOR REPAIR DETAILS, AND SPECIFICATIONS.

ROOM FINISH REPAIR SCHEDULE - GENERAL NOTES:

- ALL WORK NOTED IN THE ROOM FINISH REPAIR SCHEDULE IS TO BE CONSIDERED PART OF BID ALT. #3. REFER ALSO TO THE SCOPE OF WORK NOTES & LEGEND FOR FURTHER DESCRIPTION OF THE WORK.**
- REPAIR AREA SCHEDULED FOR THE WALLS REFERS TO THE APPROXIMATE SQUARE FOOTAGE OF EXISTING VENEER PLASTER AND PAINT FINISH THAT IS WATER-DAMAGED, AND IN NEED OF REMOVAL AND PATCHING TO MATCH EXISTING.
- ONLY ROOMS WITH EXTERIOR WALLS ARE SHOWN IN THE SCHEDULE. THERE IS NO SCOPE OF WORK AS PART OF THIS PROJECT FOR ROOMS BOUND BY INTERIOR WALLS ONLY.
- ALL ROOMS ON THE SECOND AND THIRD FLOORS HAVE 8' - 6" +/- CEILING HEIGHTS (FINISHED FLOOR TO UNDERSIDE OF LAY-IN CEILING).
- ALL RESILIENT BASE REPLACEMENT IS TO BE WITH 4" TALL, TRADITIONAL VINYL WALL BASE WITH TOE; COLOR: BLACK, TO MATCH EXISTING. THICKNESS TO MATCH EXISTING - CONTRACTOR TO VERIFY IN FIELD. PREP WALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS TO REMOVE EXISTING ADHESIVE, AND PROVIDE A CLEAN AND DRY SUBSTRATE, PRIOR TO INSTALLATION OF NEW BASE. ADHERE TO WALL WITH MANUFACTURER'S STANDARD ADHESIVE AND PER THEIR STANDARD INSTALLATION INSTRUCTIONS.
- ALL WOOD TRIM REPLACEMENT IS TO BE WITH SELECT GRADE PINE, NAILED IN PLACE, AND PAINTED TO MATCH ADJACENT EXISTING TRIM. CONTRACTOR IS TO VERIFY WIDTH AND THICKNESS OF EXISTING TRIM IN FIELD (ALL NEW TRIM IS TO MATCH EXISTING).
- OWNER WILL BE RESPONSIBLE FOR MOVING ALL FURNITURE AWAY FROM THE WALLS SCHEDULED TO RECEIVE WORK. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY PROTECTION OF EXISTING FURNITURE AND FINISHES TO REMAIN, IN AND AROUND AREAS OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND SCHEDULING INTERIOR WORK WITH THE OWNER AHEAD OF TIME.
- THE EXISTING INTERIOR FINISHES HAVE BEEN TESTED BY THE OWNER FOR ASBESTOS CONTAINING MATERIAL (ACM). THE EXISTING VENEER PLASTER AND SEALANTS TESTED NEGATIVE FOR THE PRESENCE OF ACM. OWNER ASSUMES THE EXISTING PAINT COATINGS CONTAIN LEAD. **CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY PRECAUTIONS AND PERSONAL PROTECTIONS FOR CONTRACT WORKERS DURING THE SCHEDULED DISTURBANCE AND REMOVAL OF WATER-DAMAGED MATERIAL (BASED ON RESULTS OF LEAD TESTING).**



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PRENTIS
BUILDING
FACADE
REPAIRS

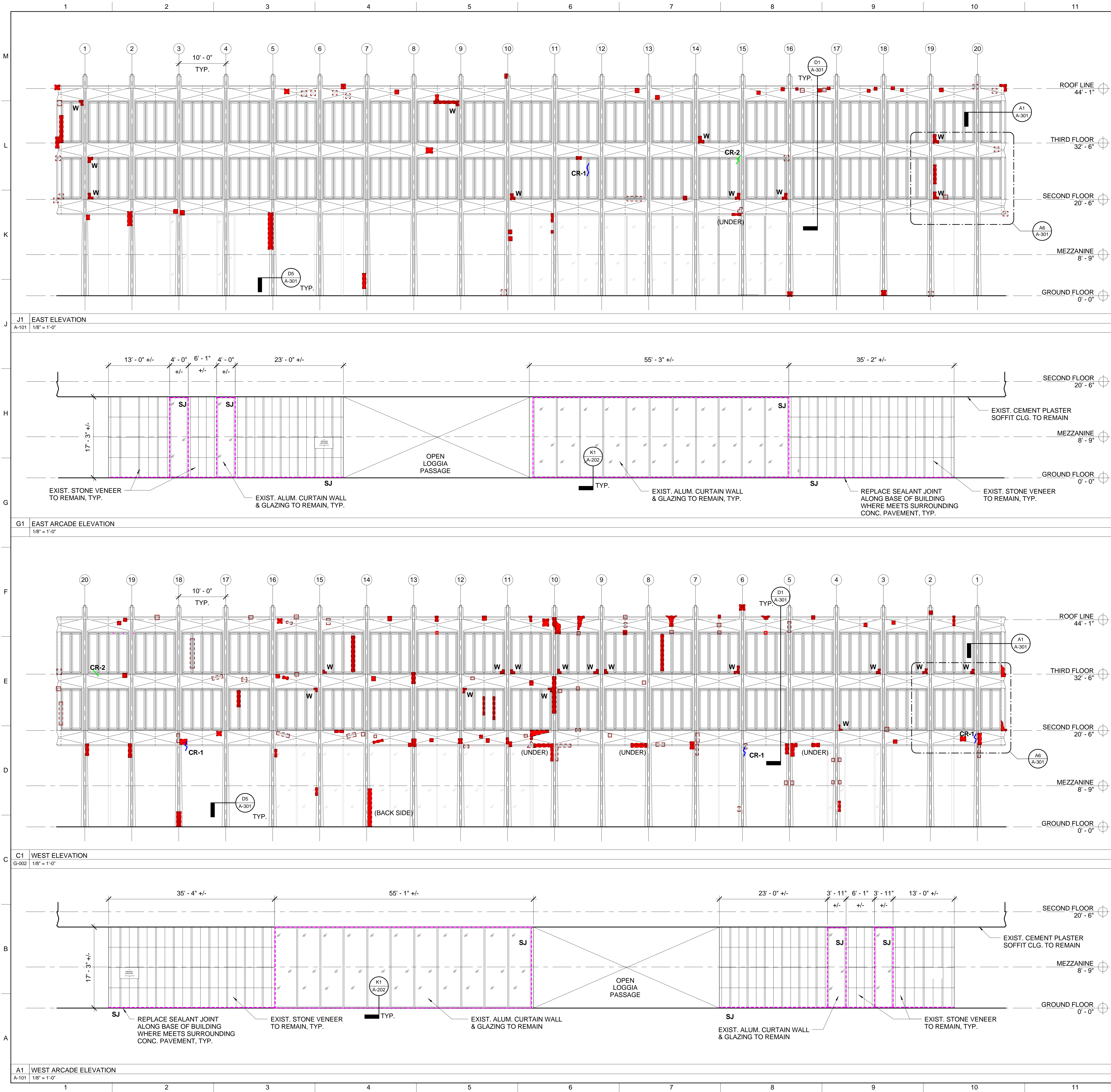
5201 Cass Avenue
Detroit, MI 48202

QEA # 31408200
WSU # 022255015

Building #022

THIRD
FLOOR PLAN
& ROOM
FINISH
SCHEDULE

BID DOCUMENTS		
04/13/2018		
REVISIONS		
NO.	DESCRIPTION	DATE



- GENERAL NOTES**
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 - THE BUILDING WILL REMAIN OCCUPIED AND OPERATIONAL DURING CONSTRUCTION AND IS LOCATED WITHIN AN OCCUPIED EDUCATIONAL CAMPUS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY PROTECTION AND MAINTAINING SAFETY DURING CONSTRUCTION ACTIVITIES, IN ORDER TO PROTECT THE SURROUNDING PEDESTRIAN AND OCCUPIED SPACES.
 - THE EXISTING BUILDING ENVELOPE MUST BE MAINTAINED IN A WEATHER TIGHT CONDITION AT ALL TIMES. IF TEMPORARY OPENINGS ARE REQUIRED TO COMPLETE THE WORK, THE CONTRACTOR MUST NOTIFY AND OBTAIN APPROVAL FROM THE OWNER PRIOR TO COMMENCING WITH THE WORK.
 - NEW CONSTRUCTION SHALL PROCEED WITH CARE SO AS NOT TO DAMAGE EXISTING FINISHES TO REMAIN. CONTRACTOR SHALL PATCH, REPAIR, AND/OR REFINISH ALL SURFACES AND FINISHES AS REQUIRED TO ACHIEVE A UNIFORM APPEARANCE AND/OR MATCH EXISTING.
 - INFORMATION CONTAINED IN THESE DRAWINGS IS BASED ON LIMITED FIELD INVESTIGATION AND HISTORIC DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD. ***NOTIFY ARCHITECT AND OWNER IF EXISTING MATERIALS DESIGNATED TO REMAIN ARE DETERMINED IN THE FIELD TO BE DETERIORATED TO THE POINT OF IMMINENT FAILURE, PRIOR TO PROCEEDING WITH WORK.**

- SCOPE OF WORK NOTES & LEGEND:**
- FAILED PRECAST CONCRETE REFERS TO AREAS THAT HAVE CRACKED, DELAMINATED, OR SPALLED. STEEL REINFORCING IS EXPOSED IN SOME OF THESE AREAS.
 - FULLY CLEAN THE EXTERIOR PRECAST CONCRETE FACADE OF THE SECOND AND THIRD STORIES OF THE BUILDING FOLLOWING ALL REPAIRS IDENTIFIED WITHIN THESE DOCUMENTS. CLEAN ANY SURFACES OF THE CONCRETE PAVING BELOW AFFECTED BY THE WORK, AND PERFORM EXTERIOR WINDOW WASHING, FOLLOWING REPAIR WORK. REFER TO SPECIFICATIONS.
 - ALT.#1:** CLEAN EXIST. STONE VENEER CLADDING AT THE FIRST FLOOR / MEZZANINE LEVELS. REFER TO SPECIFICATIONS.
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REPAIR FAILING CORNER OF PRECAST CONCRETE WINDOW PANEL. PATCH WITH A CUSTOM MIX TO MATCH EXISTING. REFER TO STRUCTURAL FOR TYPICAL WINDOW JAMB / MULLION PATCH DETAILS, AND SPECIFICATIONS. **ALL WINDOW LOCATIONS WILL REQUIRE SOME REPLACEMENT OF STEEL REINFORCING.*
- MINOR CONCRETE PATCH REPAIR:**
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PRENTIS BUILDING FACADE REPAIRS

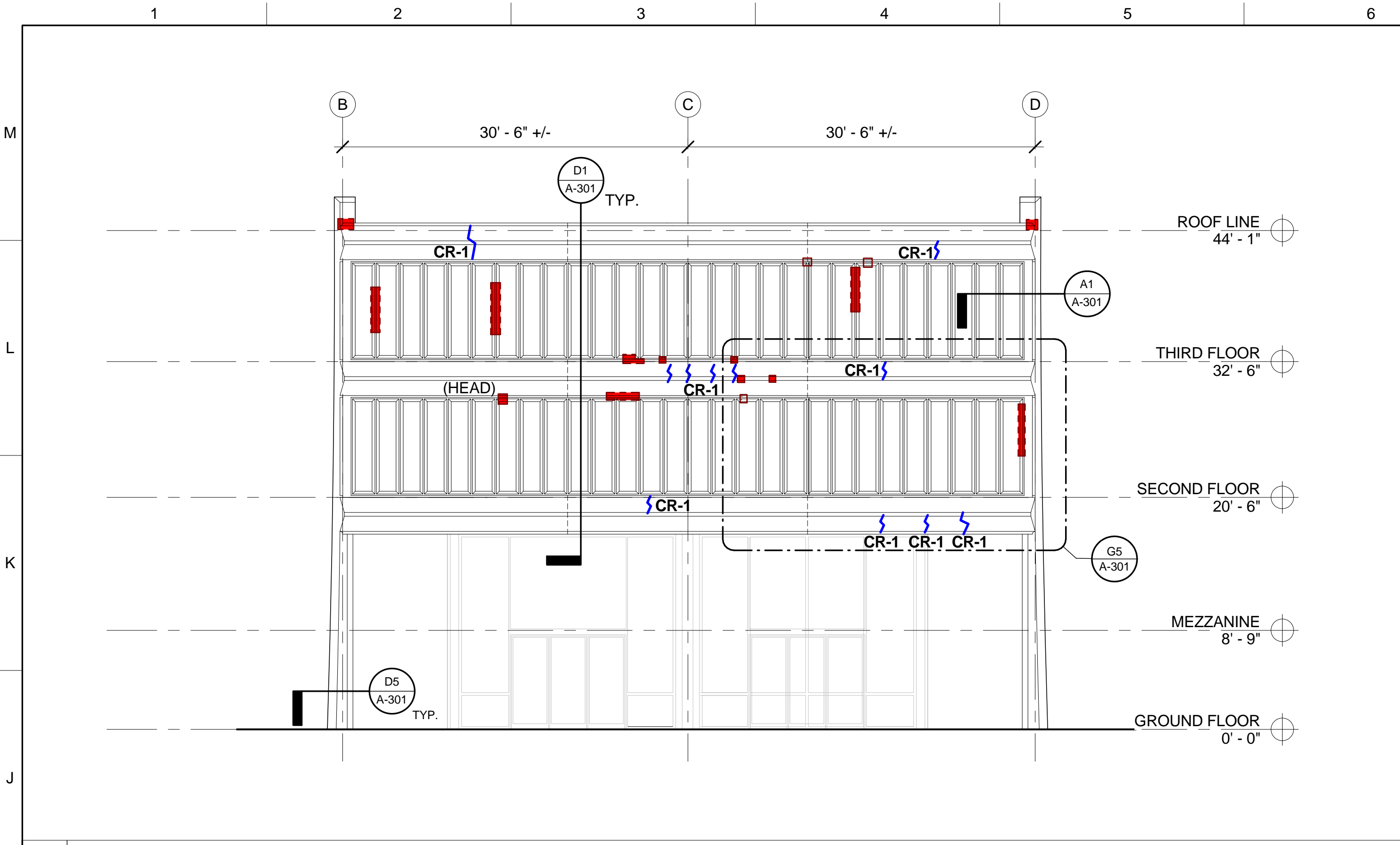
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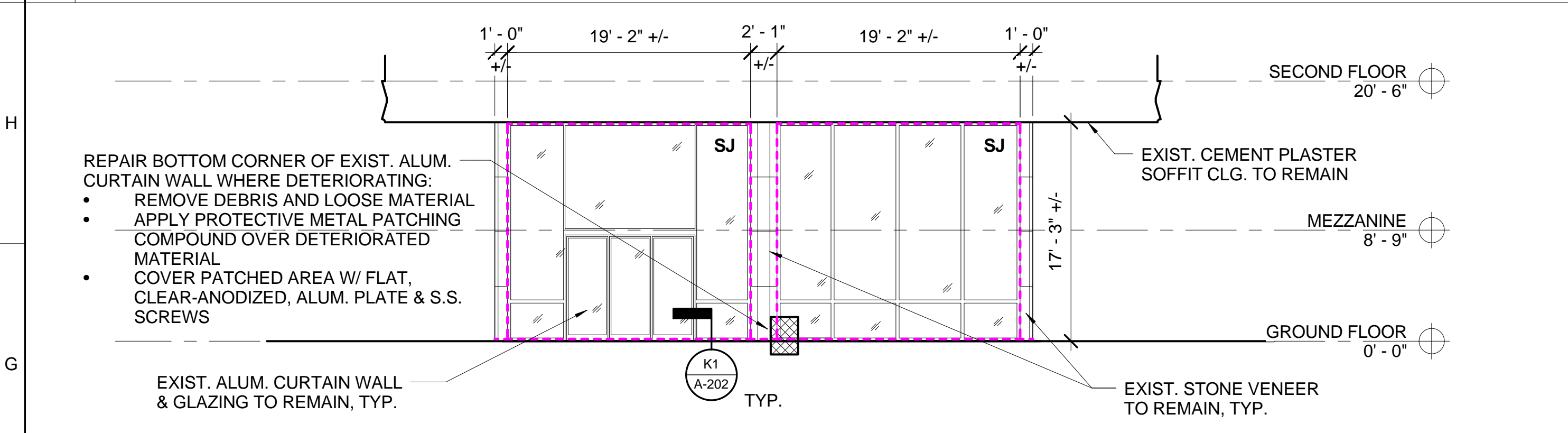
Building #022

EAST AND WEST ELEVATIONS

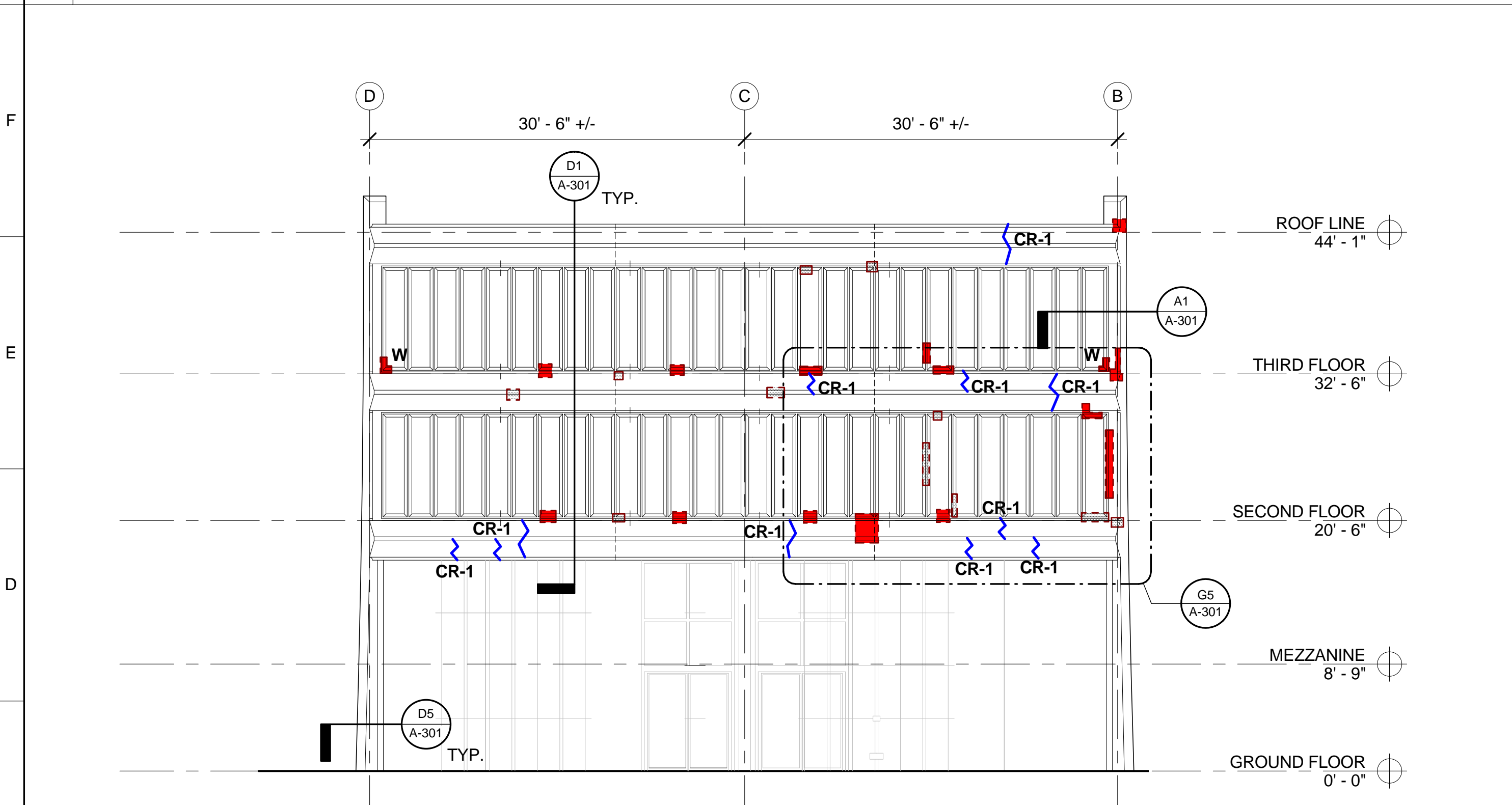
BID DOCUMENTS		
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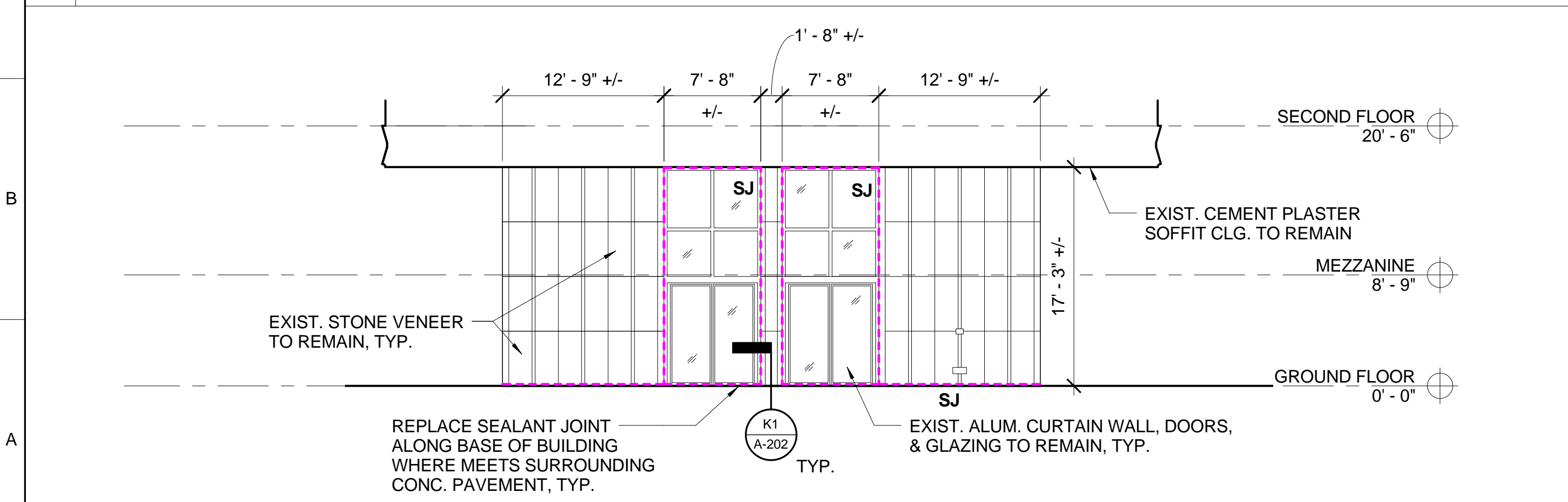
J1 NORTH ELEVATION
A-101 1/8" = 1'-0"



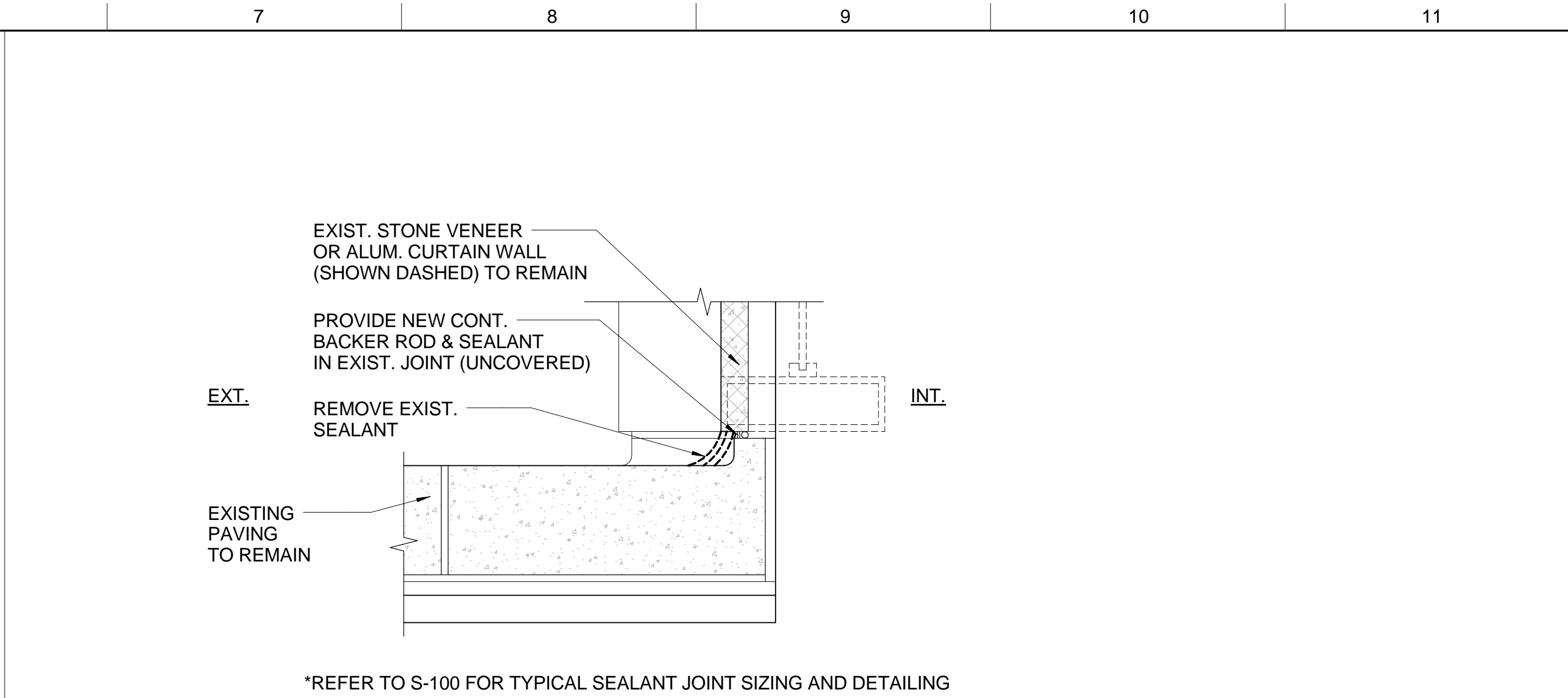
G1 NORTH ARCADE ELEVATION
G-002 1/8" = 1'-0"



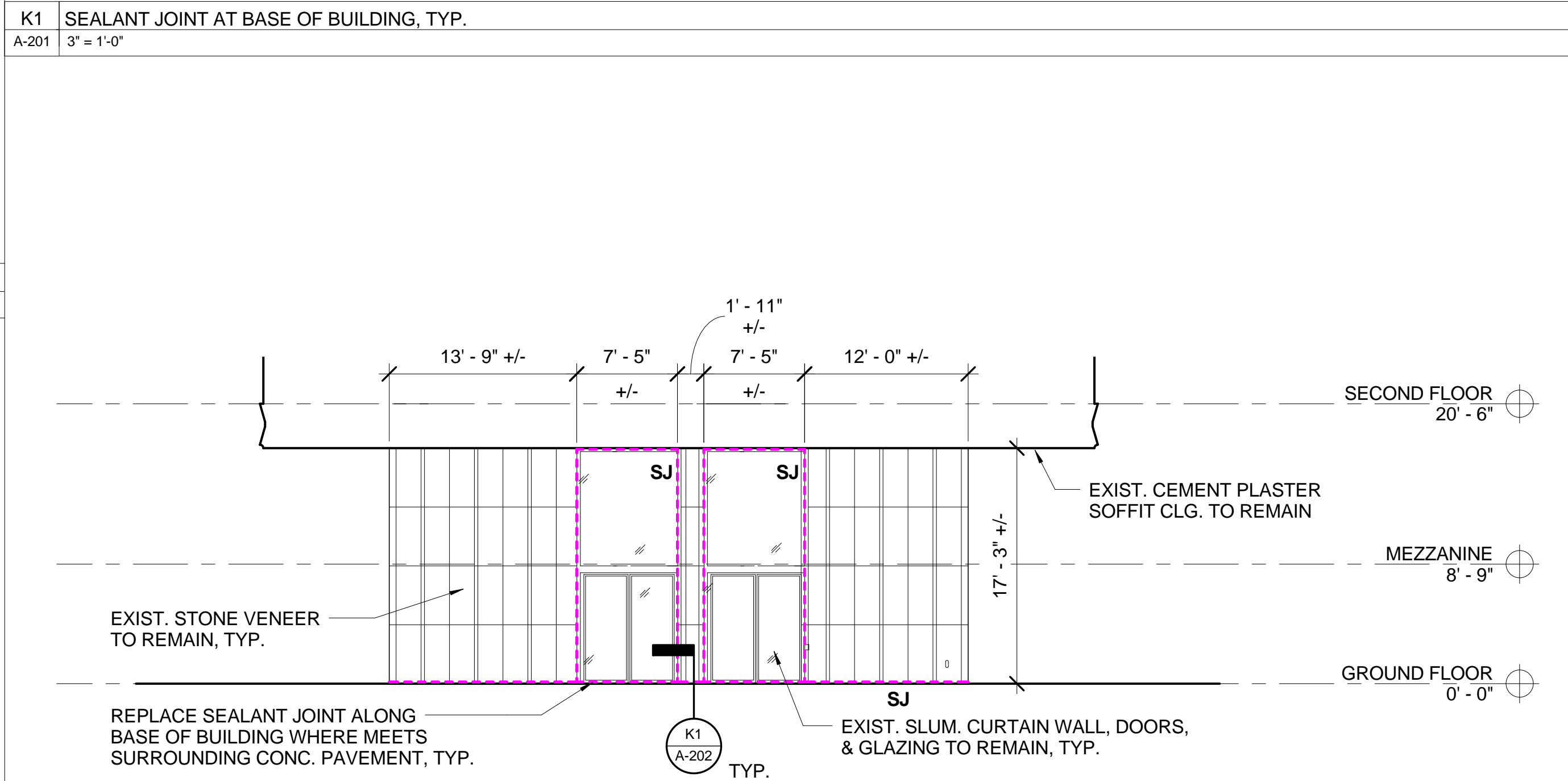
C1 SOUTH ELEVATION
A-102 1/8" = 1'-0"



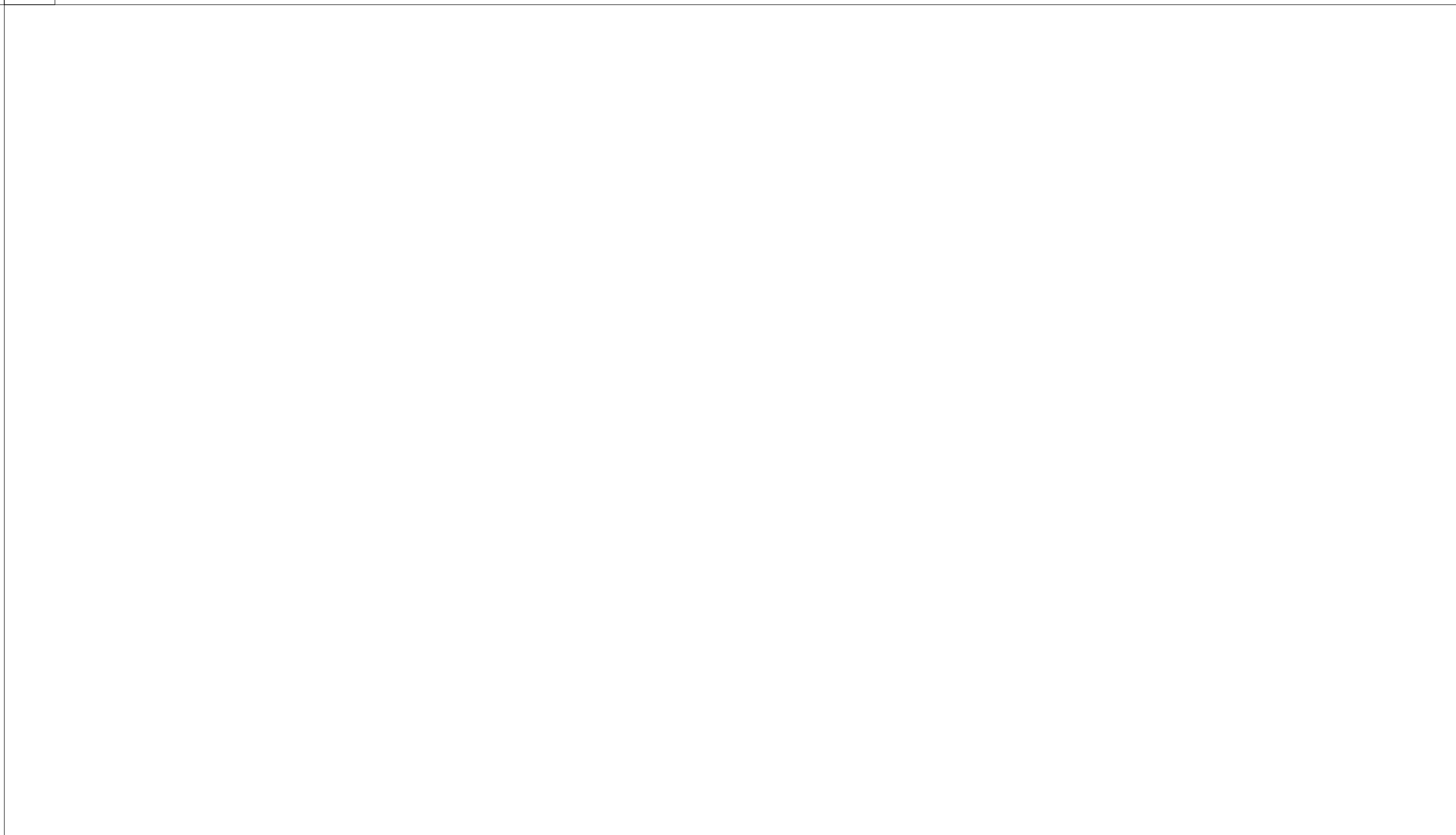
A1 SOUTH ARCADE ELEVATION
A-101 1/8" = 1'-0"



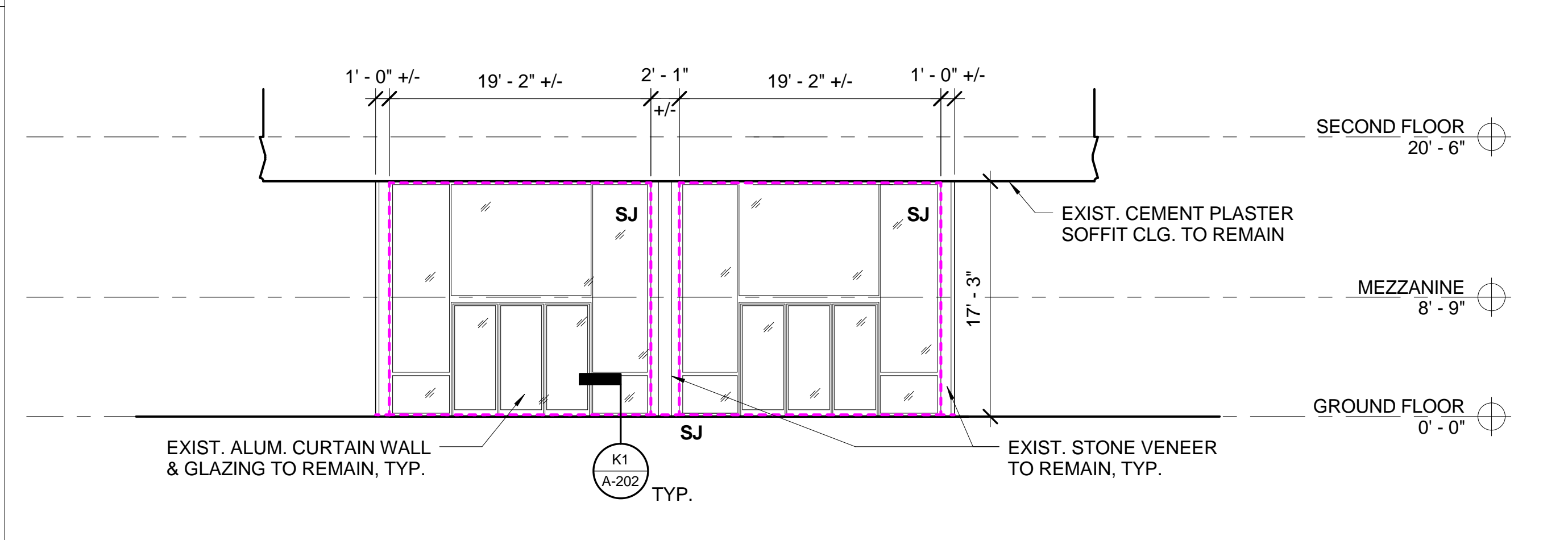
K1 SEALANT JOINT AT BASE OF BUILDING, TYP.
A-201 3/4" = 1'-0"



G6 NORTH ELEVATION - INSIDE LOGGIA
G-002 1/8" = 1'-0"



C1 SOUTH ELEVATION
A-102 1/8" = 1'-0"



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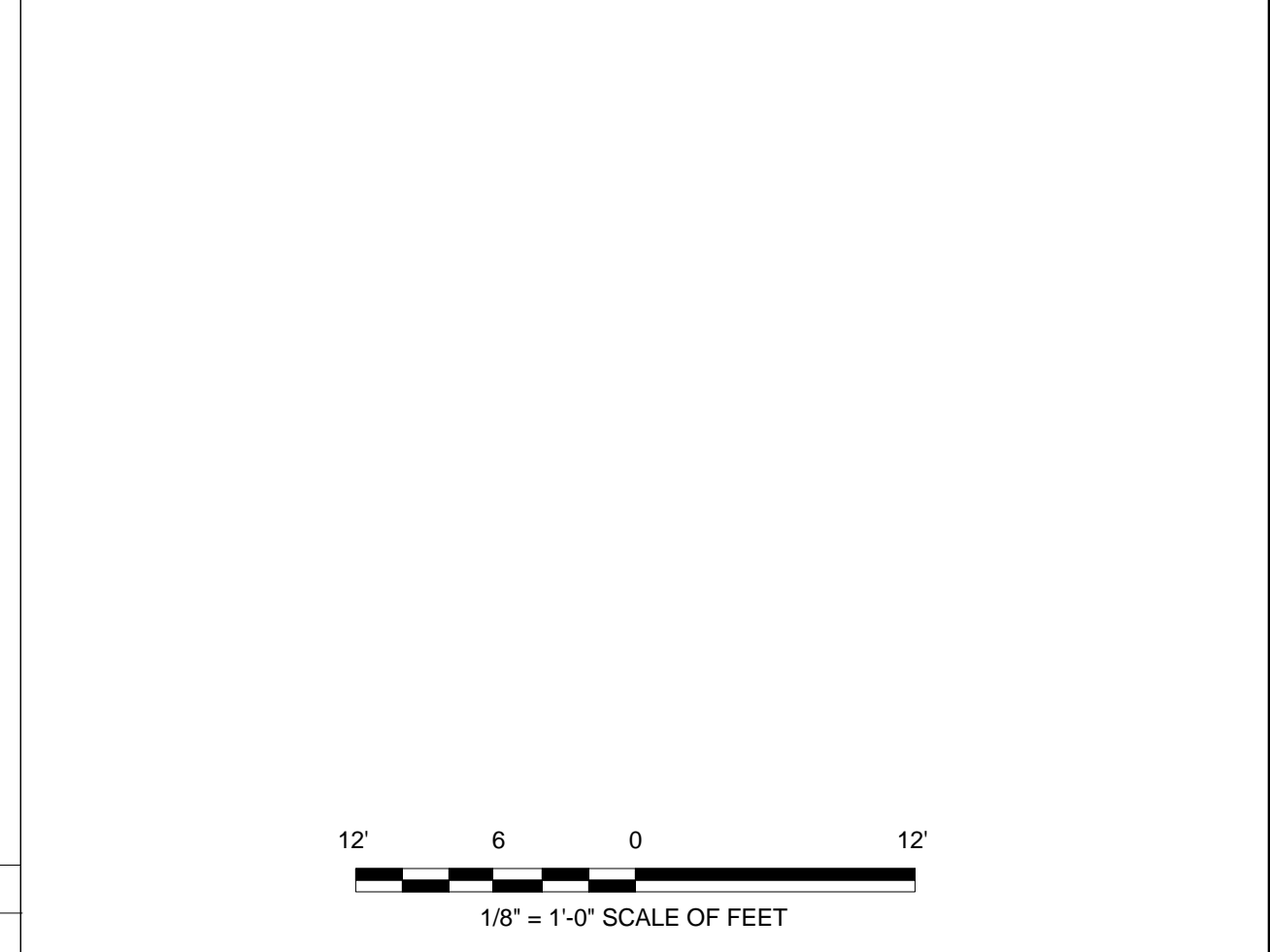
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