

# WAYNE STATE UNIVERSITY

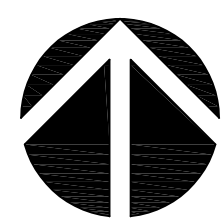
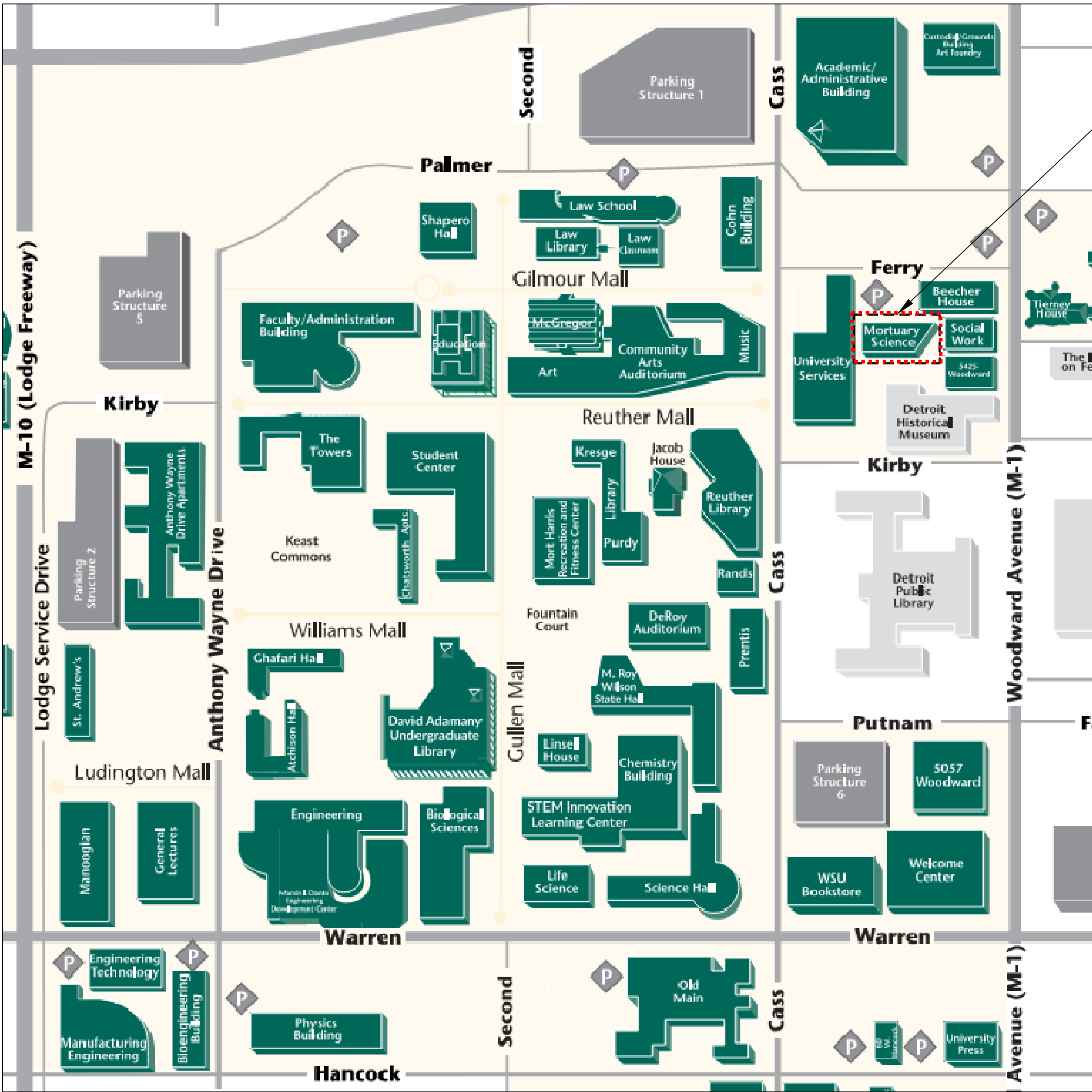
## MORTURAY SCIENCE BUILDING - ENCLOSURE RESTORATION

### WSU PROJECT # 065-400479

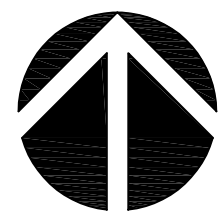
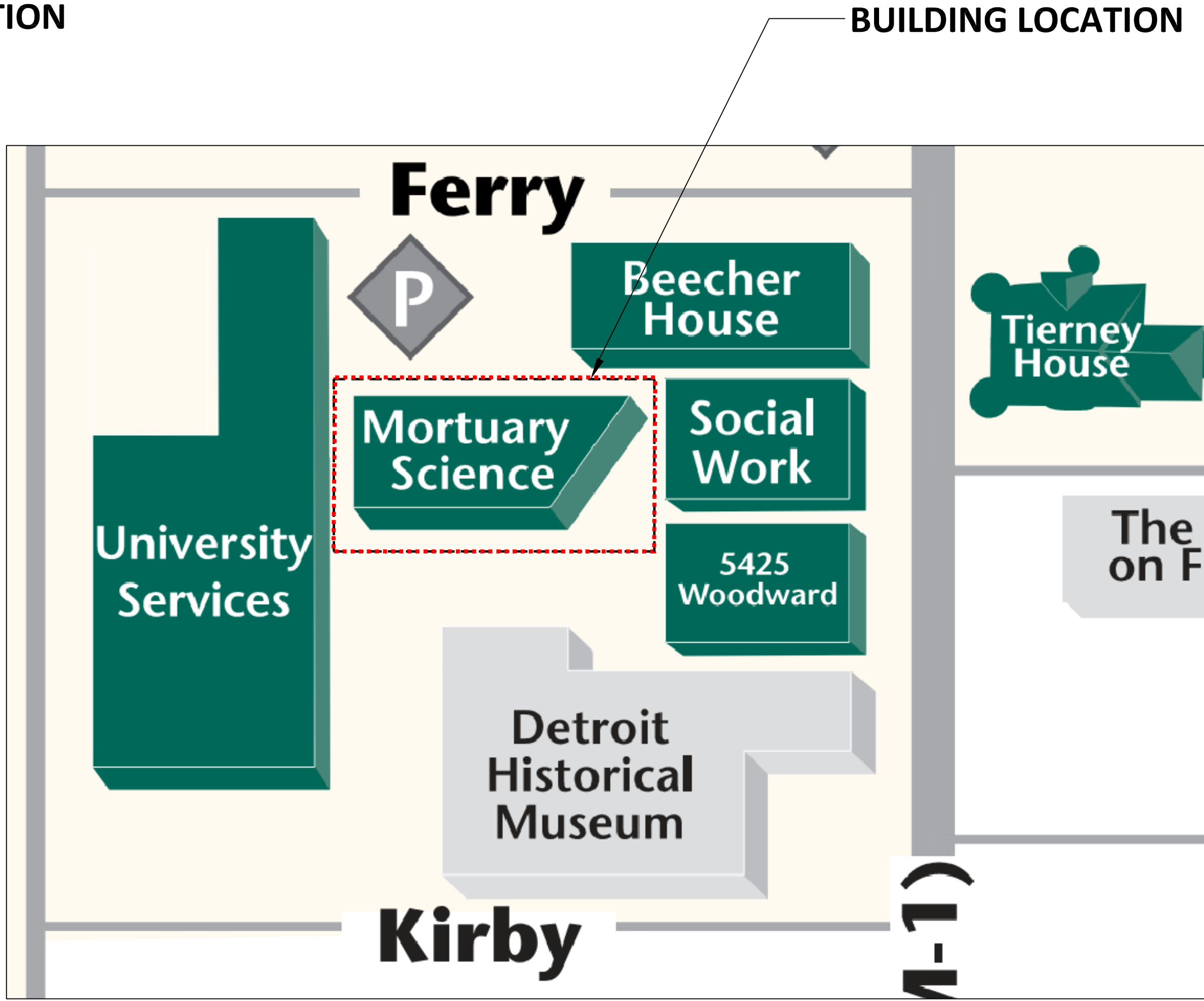
INDEX OF DRAWINGS

COVER	COVER SHEET
SP1	SITE PLAN
P1-P4	FLOOR PLANS
E1-E3	ELEVATIONS
D1-D4	DETAILS

INITIALS/DATE	
DRAWN	INT 5/5/2025
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REVISED	1
APPROVED	
REVISED	2
APPROVED	
REVISED	3
APPROVED	
APPROVED FOR BIDS	
ISSUED FOR BID	



Location Map  
Scale: N.T.S.



Site Map  
Scale: N.T.S.

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WSU PROJECT #065-400479

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Building and Construction  
200-45000 Helm Street - Plymouth - Michigan - 48170 - Tel 248.957.9911







ENTRY/EXIT ALONG  
WOODWARD AVE.

STAGING/DUMPSTER  
AREA TO BE  
COORDINATED WITH  
WSU PROJECT MANAGER

GENERAL NOTES:

- 1. DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE A SCHEMATIC REPRESENTATION OF THE EXISTING CONDITIONS AND OVERALL DESIGN INTENT. CONTRACTOR IS RESPONSIBLE TO REVIEW EXISTING CONDITIONS AND DEVELOP THE SPECIFIC SCOPE OF WORK FOR THE PROJECT, WHICH SHALL MEET THE DESIGN INTENT AS WELL AS BE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.
- 2. CONTRACTOR SHALL SUBMIT A DEVELOPED AND COMPLETE SCOPE OF WORK DOCUMENT, INCLUDING PROJECT SPECIFIC SHOP DRAWINGS AND PRODUCT DATA SHEETS.
- 3. PERMITS: CONTRACTOR SHALL SECURE ANY REQUIRED PERMITS PRIOR TO PROCEEDING WITH ANY WORK AND SHALL COORDINATE BUILDING INSPECTIONS WITH THE OWNER, INCLUDING THE WSU FIRE INSPECTOR.

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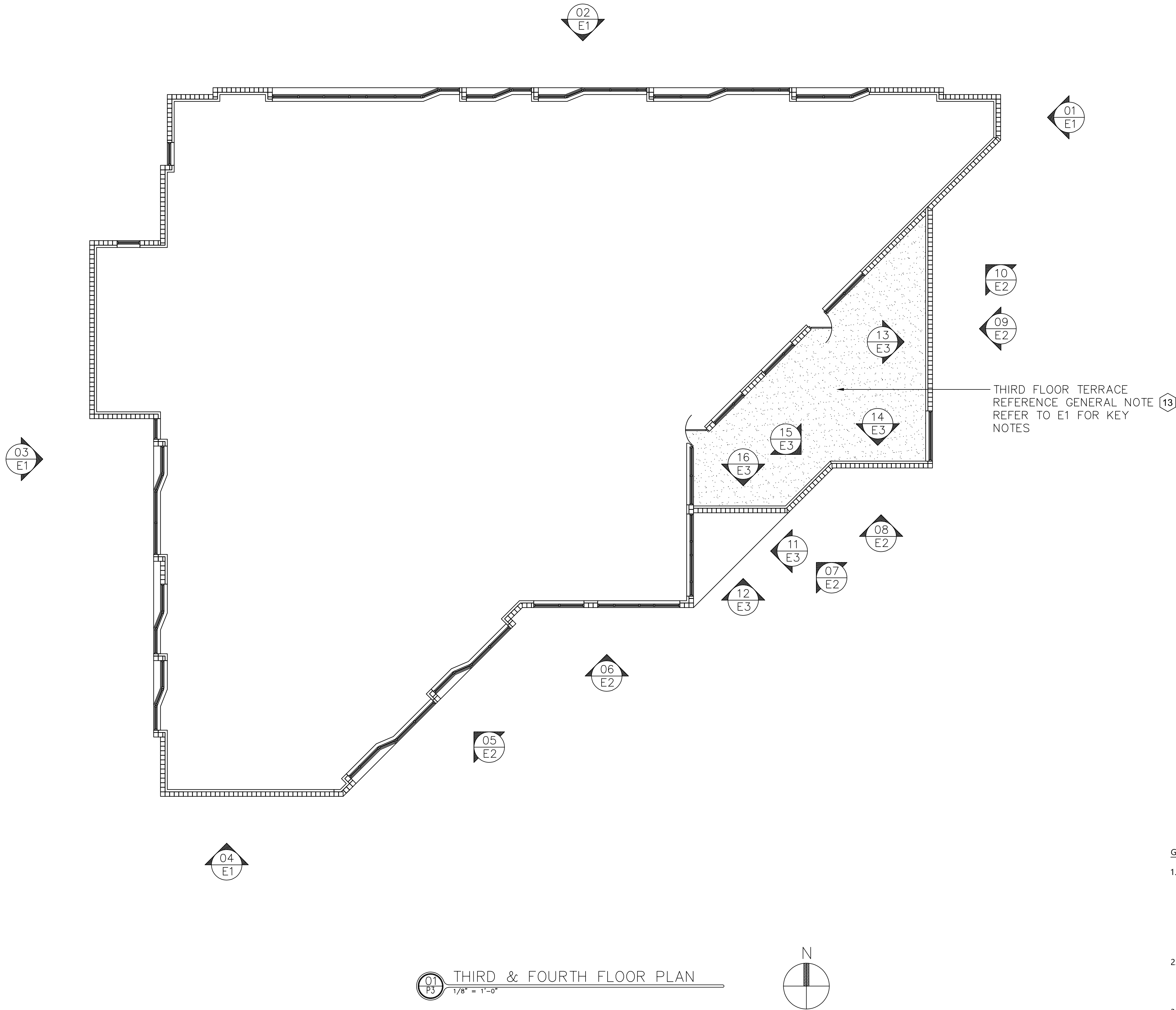
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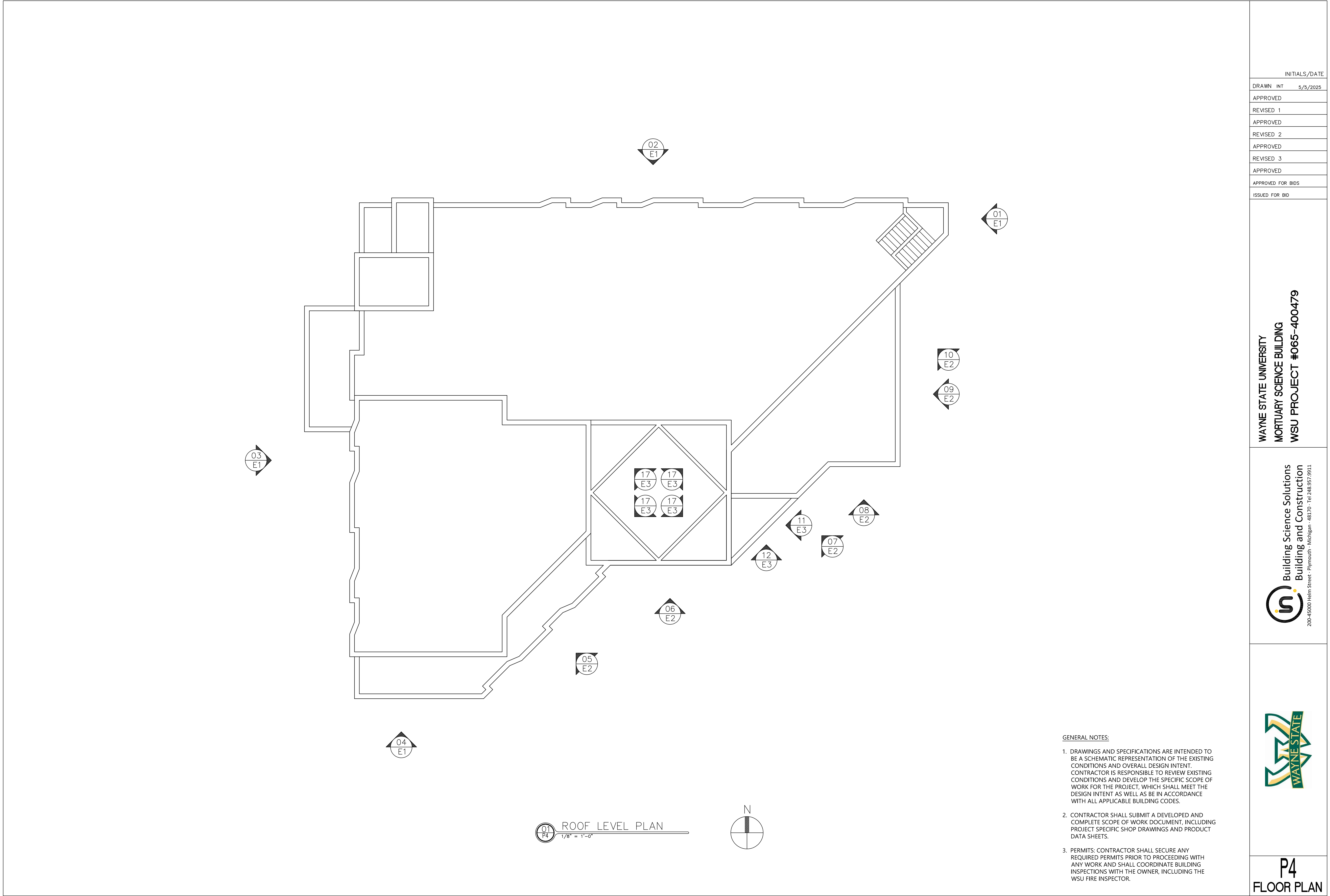
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P3  
FLOOR PLAN



INITIALS/DATE	
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P4  
FLOOR PLAN





01  
E1  
PARTIAL EAST ELEVATION  
1/8" = 1'-0"

02  
E1  
NORTH ELEVATION  
1/8" = 1'-0"



03  
E1  
WEST ELEVATION  
1/8" = 1'-0"

04  
E1  
PARTIAL SOUTH ELEVATION  
1/8" = 1'-0"

GENERAL NOTES:

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1

RE-POINT BRICK MASONRY MORTAR JOINTS (REFERENCE DETAIL 1/D1) - UP TO 2,750 SQUARE FEET ACROSS ALL ELEVATIONS

2

EPOXY INJECTION CRACK REPAIR AT BRICK MASONRY (REFERENCE DETAILS 4-6/D1) - UP TO 1,342 LINEAL FEET ACROSS ALL ELEVATIONS

3

REPLACE DAMAGED/BROKEN BRICK MASONRY UNITS (REFERENCE DETAIL 2/D1) - UP TO 50 UNITS TOTAL ACROSS ALL ELEVATIONS

4

SAW-CUT NEW MASONRY CONTROL JOINT AND INSTALL NEW JOINT SEALANT (REFERENCE DETAIL 3/D1) - APPROXIMATELY 111 LINEAL FEET

5

WIRE-BRUSHING, CLEANING, AND APPLICATION OF NEW HIGH-PERFORMANCE COATING AT EXPOSED STEEL - UP TO 728 SQUARE FEET ACROSS ALL ELEVATIONS. REFER TO SPEC SECTION 03 9300 FOR COATING INFORMATION.

6

STEEL LINTEL RESTORATION AND INSTALLATION OF NEW FLASHING (REFERENCE DETAIL 13/D3) - APPROXIMATELY 10 LINEAL FEET.

7

PATCHING AND REPAIR OF EXISTING SPALLED/DAMAGED LIMESTONE (REFERENCE DETAILS 7-9/D2) - UP TO 437 SQUARE FEET ACROSS ALL ELEVATIONS

8

PATCHING AND REPAIR OF EXISTING SPALLED/DAMAGED CONCRETE (REFERENCE DETAIL 10-12/D2) - UP TO 509 SQUARE FEET ACROSS ALL ELEVATIONS

9

SURFACE CLEANING OF CONCRETE & LIMESTONE AND APPLICATION OF ELASTOMERIC COATING - 100% ACROSS ALL ELEVATIONS, APPROXIMATELY 7,272 SQUARE FEET

10

REMOVE AND REPLACE EXISTING ALUMINUM WINDOW (REFERENCE DETAIL 17/D3) - APPROXIMATELY 56 SQUARE FEET

11

REMOVE AND REPLACE EXISTING JOINT SEALANT & BACKING MATERIAL AT MASONRY ROUGH OPENINGS AND MASONRY CONTROL & EXPANSION JOINTS (REFERENCE DETAIL 15/D3) - 100% ACROSS ALL ELEVATIONS, APPROXIMATELY 2,789 LINEAL FEET

12

WET-GLAZING AT ALUMINUM WINDOW DAYLIGHT OPENINGS (REFERENCE DETAIL 14/D3) - 100% ACROSS ALL ELEVATIONS, APPROXIMATELY 4,723 LINEAL FEET

13

REMOVE EXISTING AND INSTALL NEW TERRACE WATERPROOFING COATING (REFERENCE DETAIL 16/D3) - 100% OF THE TERRACE, APPROXIMATELY 753 SQUARE FEET

14

PATCHING, REPAIR, AND RECOATING OF EXISTING STUCCO SOFFIT (REFERENCE DETAIL 20/D4) - UP TO 225 SQUARE FEET

15

ALUMINUM LOUVER FINISH CLEANING AND RECOATING (REFERENCE DETAIL 19/D4) - UP TO 24 SQUARE FEET

16

REMOVE EXISTING AND INSTALL NEW SKIRTING PROTECTION BOARD AT GRADE AROUND PERIMETER OF SIDEWALKS (REFERENCE DETAIL 16/D3) - APPROXIMATELY 208 SQUARE FEET

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MATERIALS:

CONCRETE

LIMESTONE

BRICK

INITIALS/DATE

DRAWN INT 5/9/2025

APPROVED

REVISED 1

APPROVED

REVISED 2

APPROVED

REVISED 3

APPROVED

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Building Science Solutions

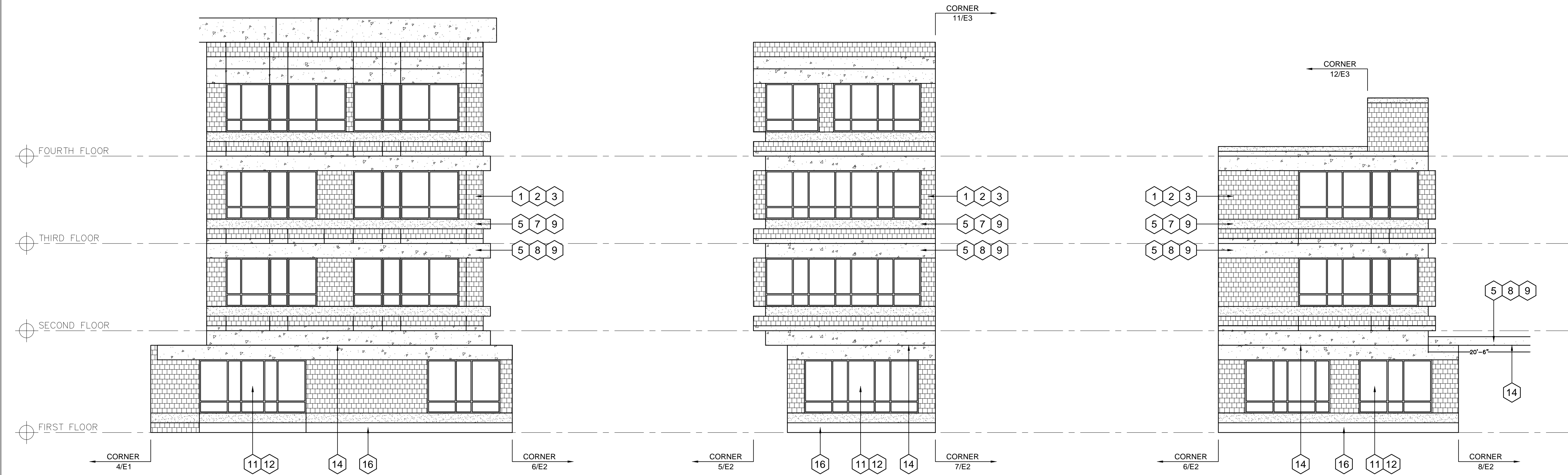
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E1

ELEVATIONS





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- 3 REPLACE DAMAGED/BROKEN BRICK MASONRY UNITS (REFERENCE DETAIL 2/D1) - UP TO 50 UNITS TOTAL ACROSS ALL ELEVATIONS
- 4 SAW-CUT NEW MASONRY CONTROL JOINT AND INSTALL NEW JOINT SEALANT (REFERENCE DETAIL 3/D1) - APPROXIMATELY 111 LINEAL FEET
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- 6 STEEL LINTEL RESTORATION AND INSTALLATION OF NEW FLASHING (REFERENCE DETAIL 13/D3) - APPROXIMATELY 10 LINEAL FEET.
- 7 PATCHING AND REPAIR OF EXISTING SPALLED/DAMAGED LIMESTONE (REFERENCE DETAILS 7-9/D2) - UP TO 437 SQUARE FEET ACROSS ALL ELEVATIONS
- 8 PATCHING AND REPAIR OF EXISTING SPALLED/DAMAGED CONCRETE (REFERENCE DETAIL 10-12/D2) - UP TO 509 SQUARE FEET ACROSS ALL ELEVATIONS
- 9 SURFACE CLEANING OF CONCRETE & LIMESTONE AND APPLICATION OF ELASTOMERIC COATING - 100% ACROSS ALL ELEVATIONS, APPROXIMATELY 7,272 SQUARE FEET
- 10 REMOVE AND REPLACE EXISTING ALUMINUM WINDOW (REFERENCE DETAIL 17/D3) - APPROXIMATELY 56 SQUARE FEET
- 11 REMOVE AND REPLACE EXISTING JOINT SEALANT & BACKING MATERIAL AT MASONRY ROUGH OPENINGS AND MASONRY CONTROL & EXPANSION JOINTS (REFERENCE DETAIL 15/D3) - 100% ACROSS ALL ELEVATIONS, APPROXIMATELY 2,789 LINEAL FEET
- 12 WET-GLAZING AT ALUMINUM WINDOW DAYLIGHT OPENINGS (REFERENCE DETAIL 14/D3) - 100% ACROSS ALL ELEVATIONS, APPROXIMATELY 4,723 LINEAL FEET
- 13 REMOVE EXISTING AND INSTALL NEW TERRACE WATERPROOFING COATING (REFERENCE DETAIL 16/D3) - 100% OF THE TERRACE, APPROXIMATELY 753 SQUARE FEET
- 14 PATCHING, REPAIR, AND RECOATING OF EXISTING STUCCO SOFFIT (REFERENCE DETAIL 20/D4) - UP TO 225 SQUARE FEET
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MATERIALS:

CONCRETE	LIMESTONE	BRICK

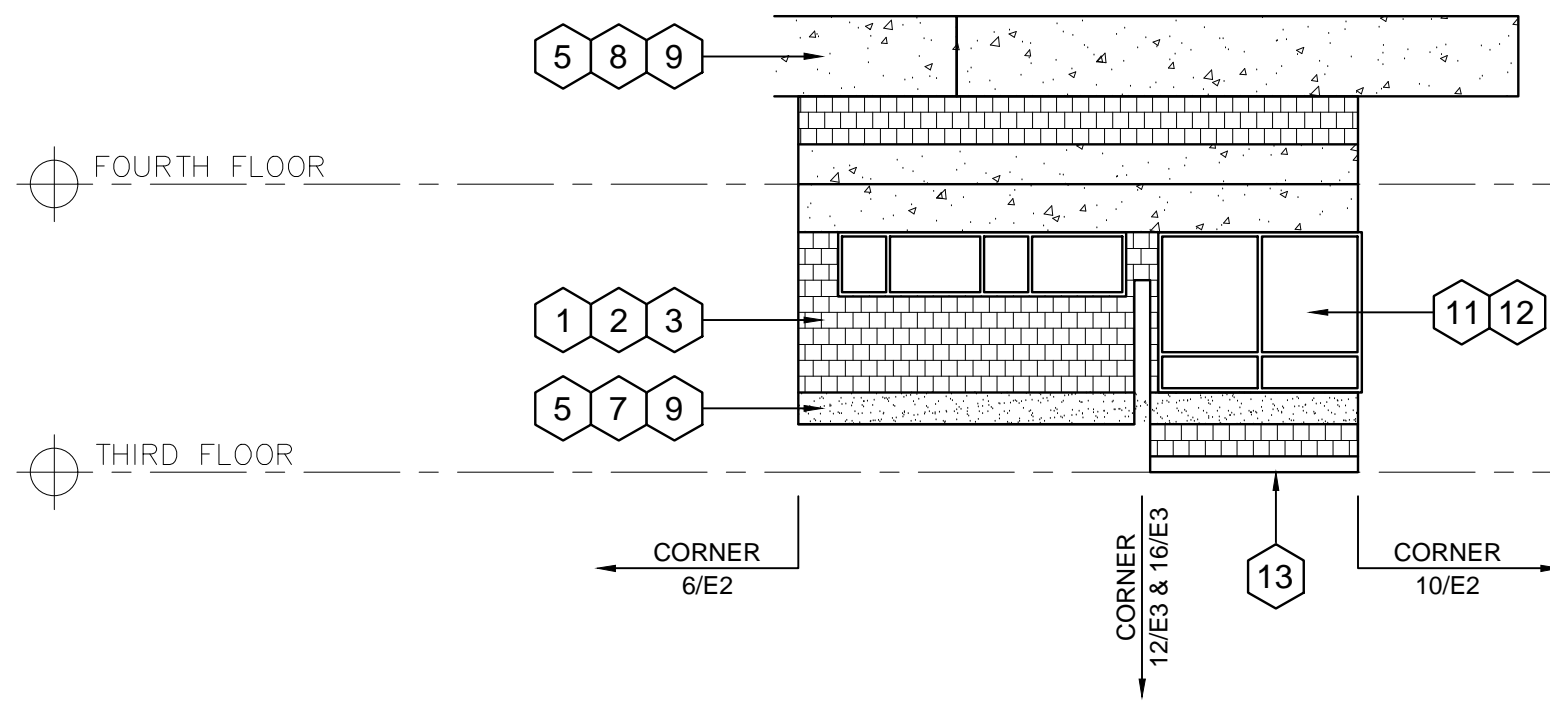
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WSU PROJECT #065-400479

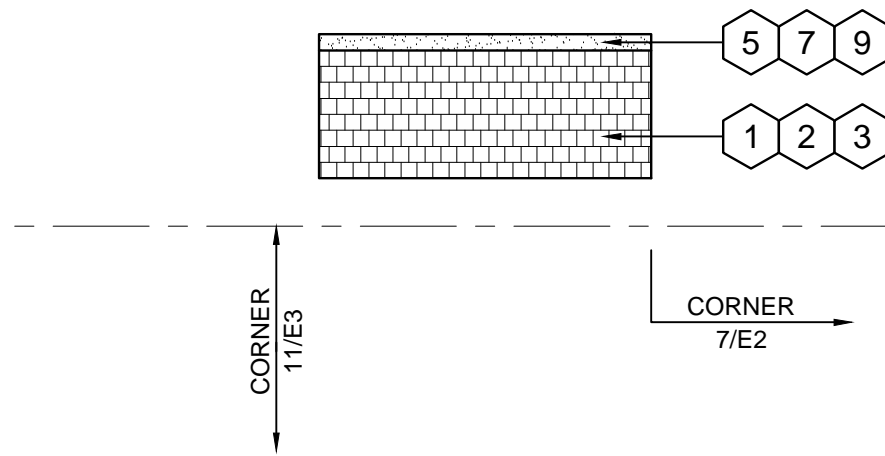
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E2  
ELEVATIONS

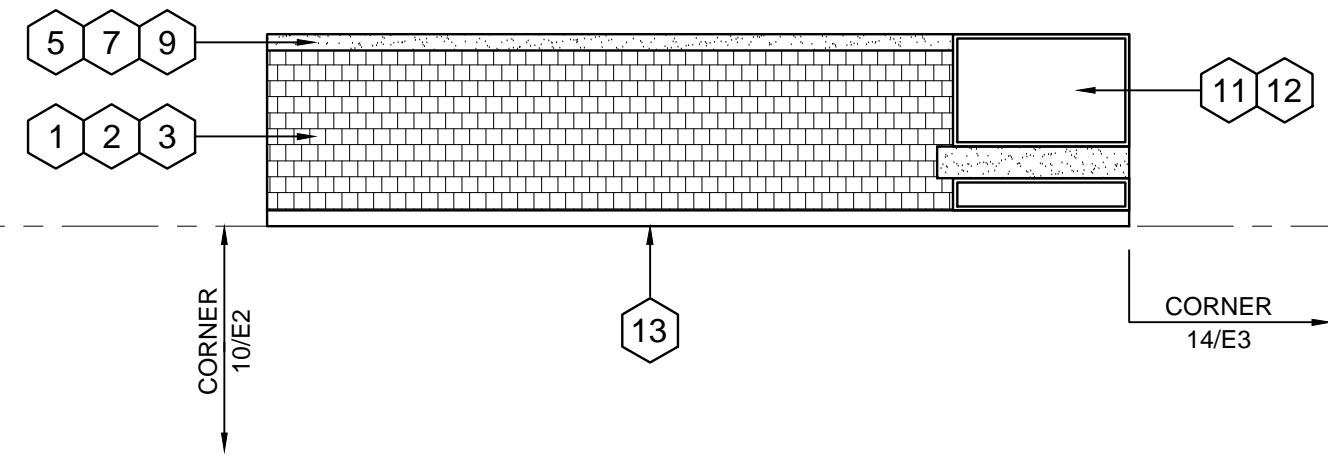




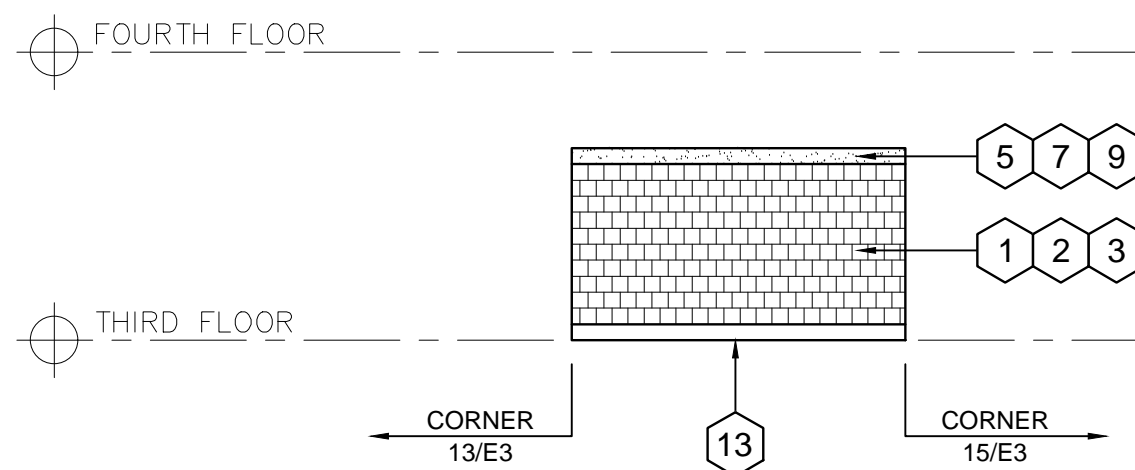
1 PARTIAL EAST ELEVATION  
1/8" = 1'-0"



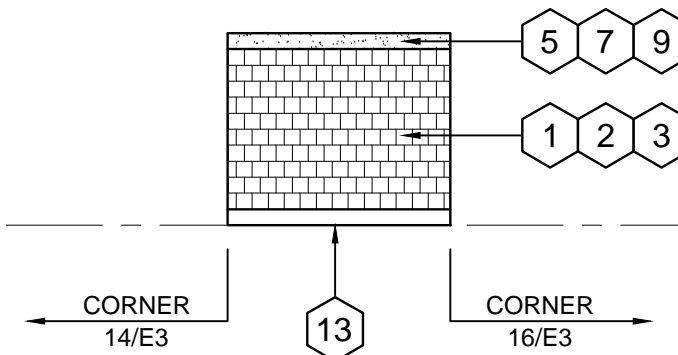
12 PARTIAL SOUTH ELEVATION  
1/8" = 1'-0"



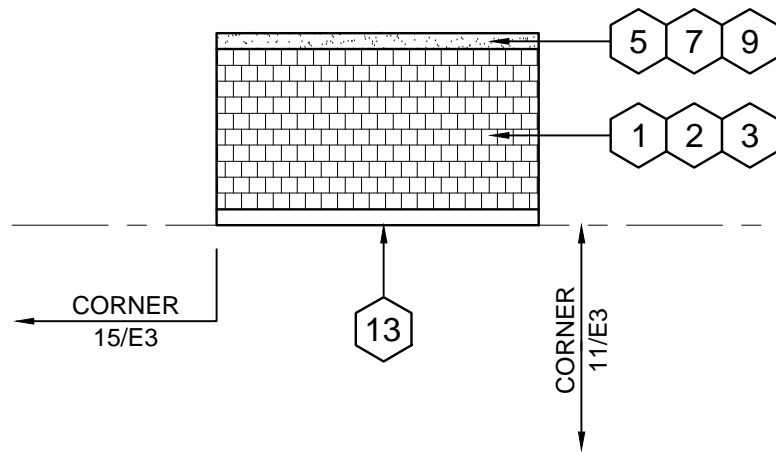
13 TERRACE WEST ELEVATION  
1/8" = 1'-0"



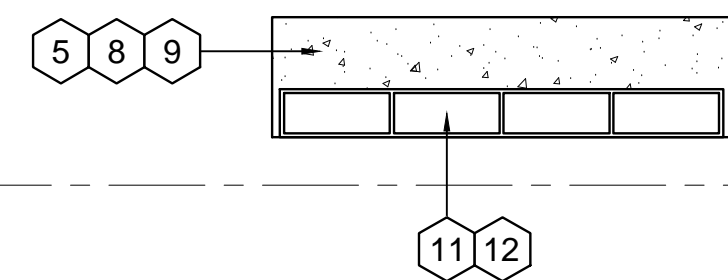
14 TERRACE PARTIAL NORTH ELEVATION  
1/8" = 1'-0"



15 TERRACE NORTHWEST ELEVATION  
1/8" = 1'-0"



16 TERRACE PARTIAL NORTH ELEVATION  
1/8" = 1'-0"



17 ROOF ALCOVE ELEVATION  
1/8" = 1'-0"

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- MATERIALS:
- CONCRETE
- LIMESTONE
- BRICK

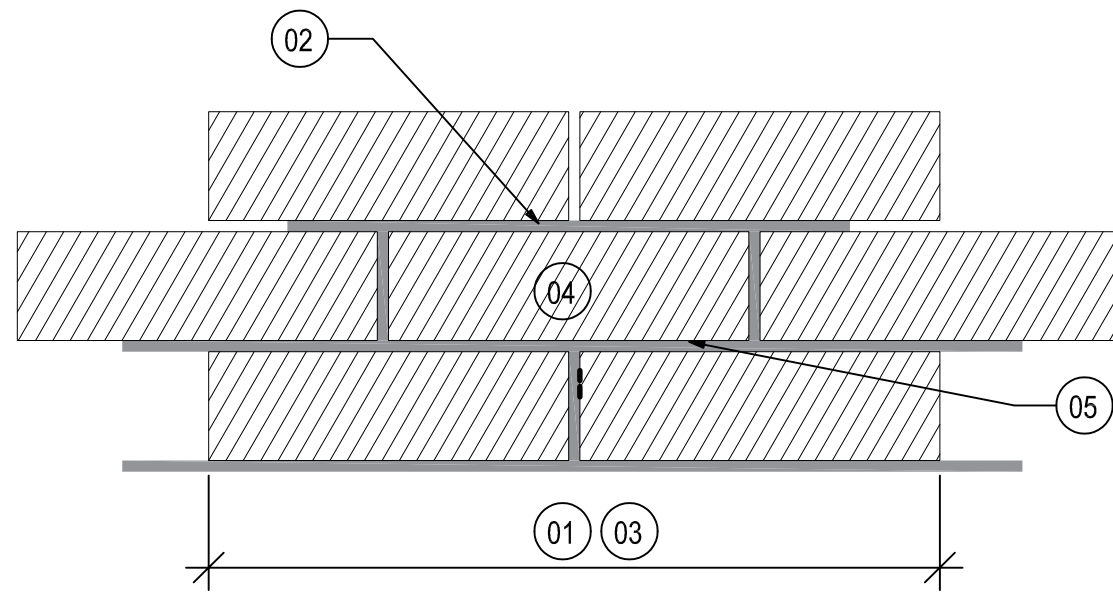
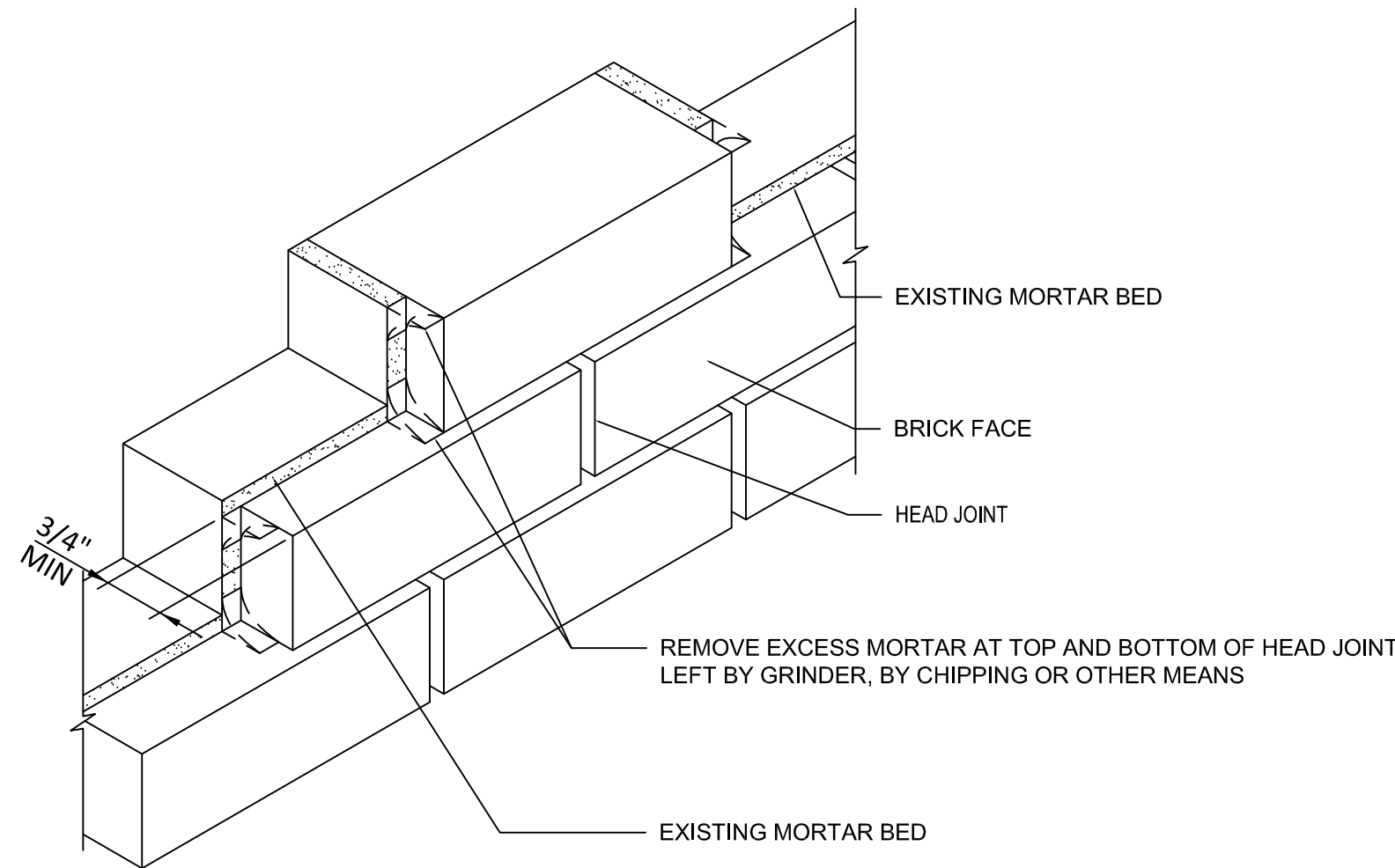
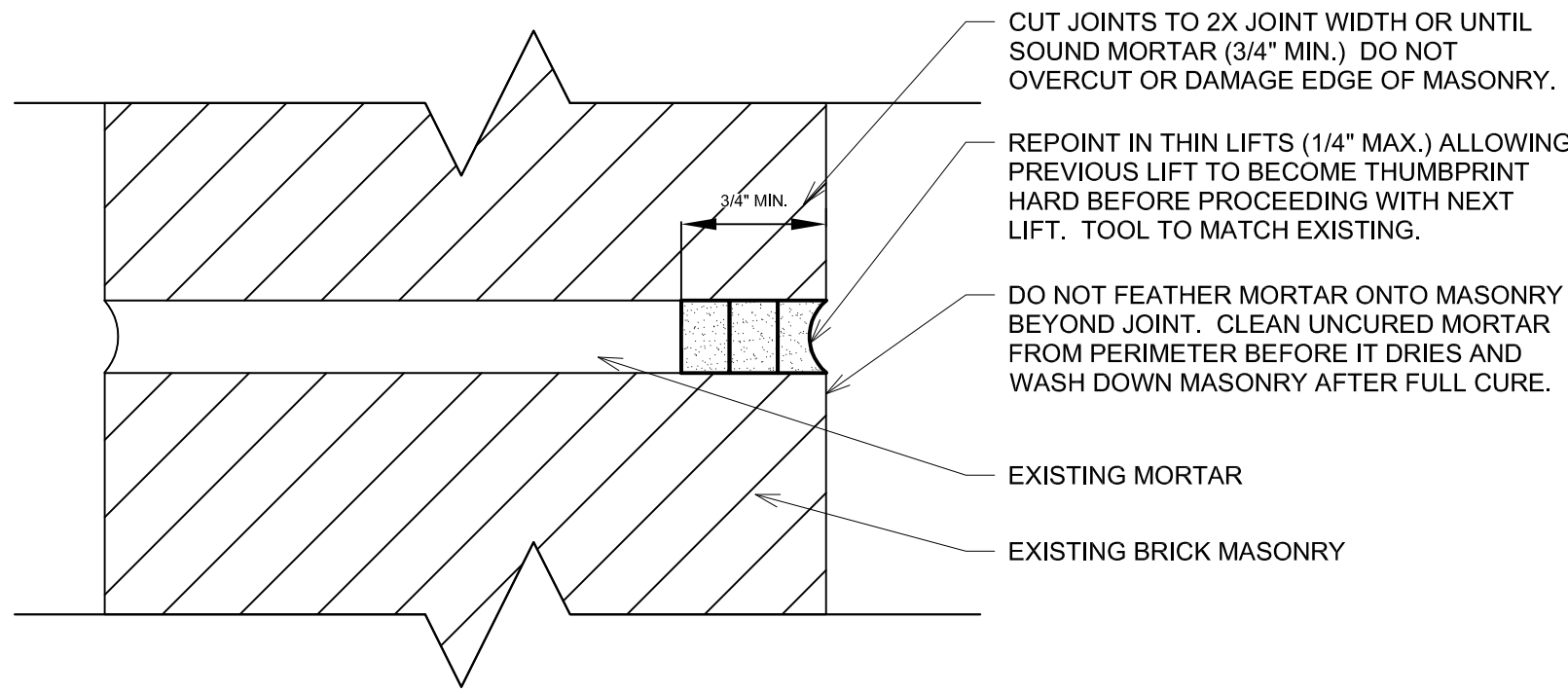
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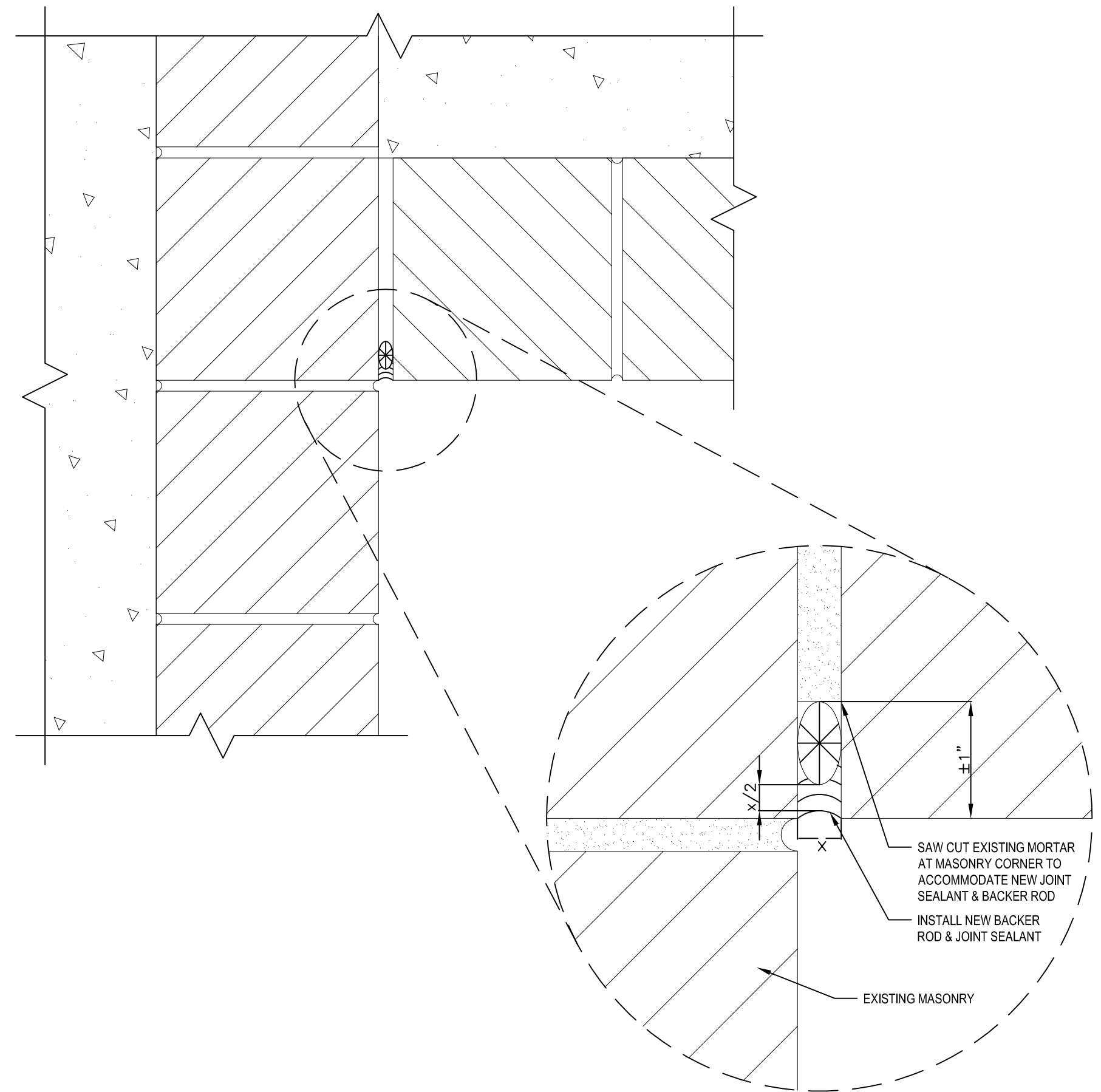
E3  
ELEVATIONS





NOTE: ALL BRICK WORK SHALL FOLLOW THE TECHNICAL NOTES OF THE BRICK INSTITUTE OF AMERICA.

- 01 EXTENT OF BRICK REPLACEMENT SHALL BE AS NOTED BY THE ENGINEER IN FIELD.
- 02 SAW-CUT THE SURROUNDING MORTAR JOINTS OF THE BRICK TO BE REMOVED AND REPLACED TO A DEPTH OF 3" MAXIMUM. DO NOT OVERCUT OR DAMAGE EDGES OF ADJACENT MASONRY.
- 03 CLEAN AND REPOINT THE EXISTING EXPOSED BACK-UP WALL WHERE EXTENTS OF LOCALIZED BRICK REBUILD EXCEEDS 2SF. INSTALL NEW STAINLESS STEEL WALL TIES AT A MIN. OF 1 PER 1.5 SF. NOTIFY ENGINEER WHERE CRACKING APPEARS TO EXTEND THROUGH BACK-UP MASONRY. DO NOT REPLACE HEADER BRICKS IF NOT CRACKED.
- 04 BUTTER THE TOP, BOTTOM AND EACH SIDE OF THE NEW BRICK TO BE INSTALLED WITH TYPE N MORTAR. NEW BRICK MUST BE REVIEWED AND APPROVED BY THE OWNER/ARCHITECT. REPLACEMENT BRICKS SHALL MATCH THE SIZE, SHAPE, TEXTURE AND COLOR OF THE EXISTING BRICK. PLACE THE NEW BRICK TO MATCH THE ADJACENT SURROUNDING COURSING.
- 05 RAKE THE MORTAR JOINTS ON ALL FOUR SIDES OF THE NEWLY INSTALLED REPLACEMENT BRICK AT 1.5" PAST THE OUTSIDE FACE. ALLOW THE SETTING MORTAR TO CURE FOR 24 HOURS PRIOR TO POINTING THE JOINTS WITH THE APPROVED MORTAR FOLLOWING THE REQUIREMENTS OF THE TYPICAL MASONRY REPOINTING DETAIL



1  
D1

#### TYPICAL MASONRY PREP & REPOINTING DETAILS

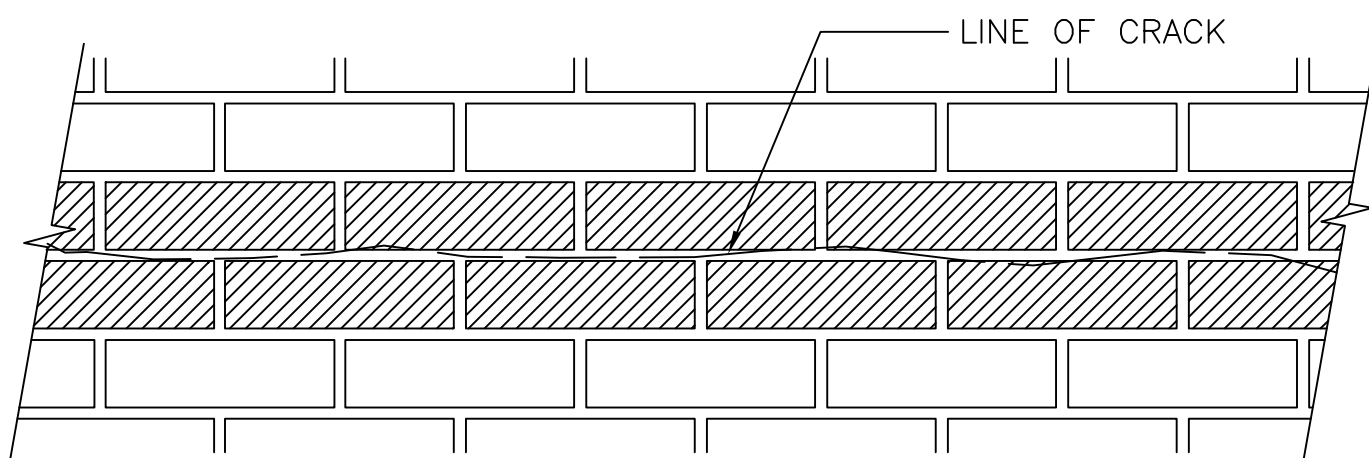
2  
D1

#### TYPICAL BRICK REPLACEMENT DETAIL

3  
D1

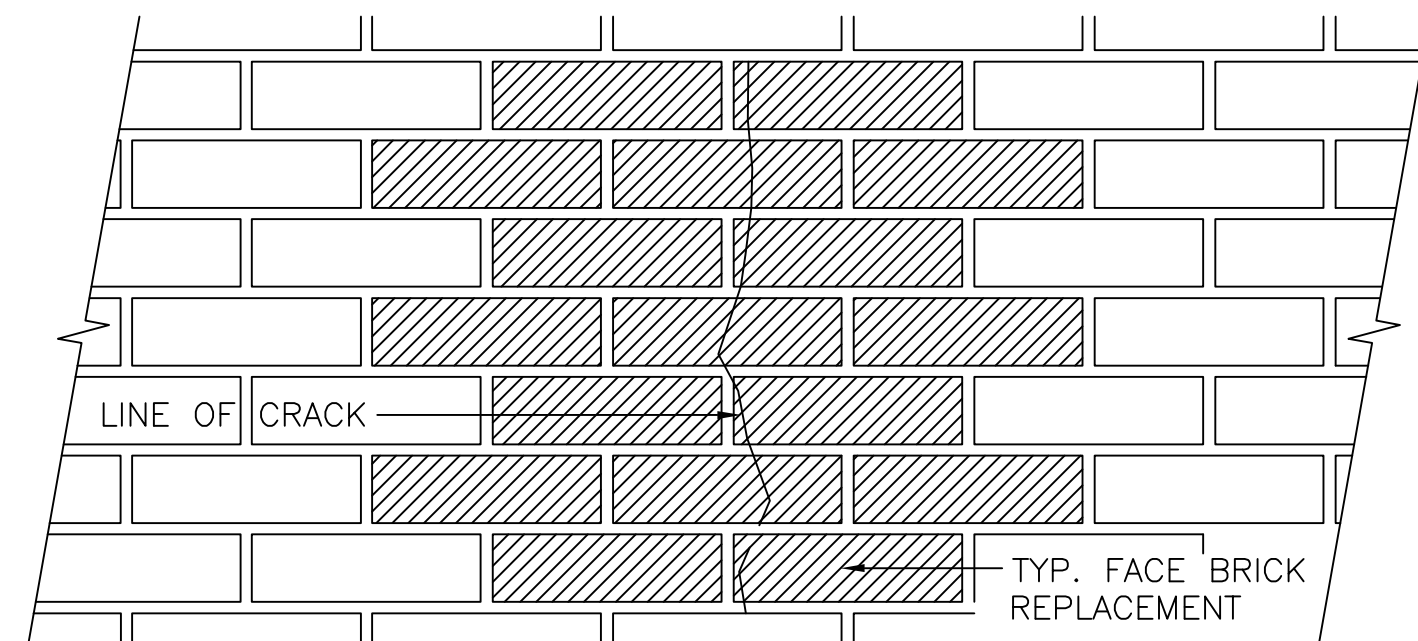
#### TYPICAL BRICK MASONRY SAW-CUTTING & JOINT SEALANT DETAIL

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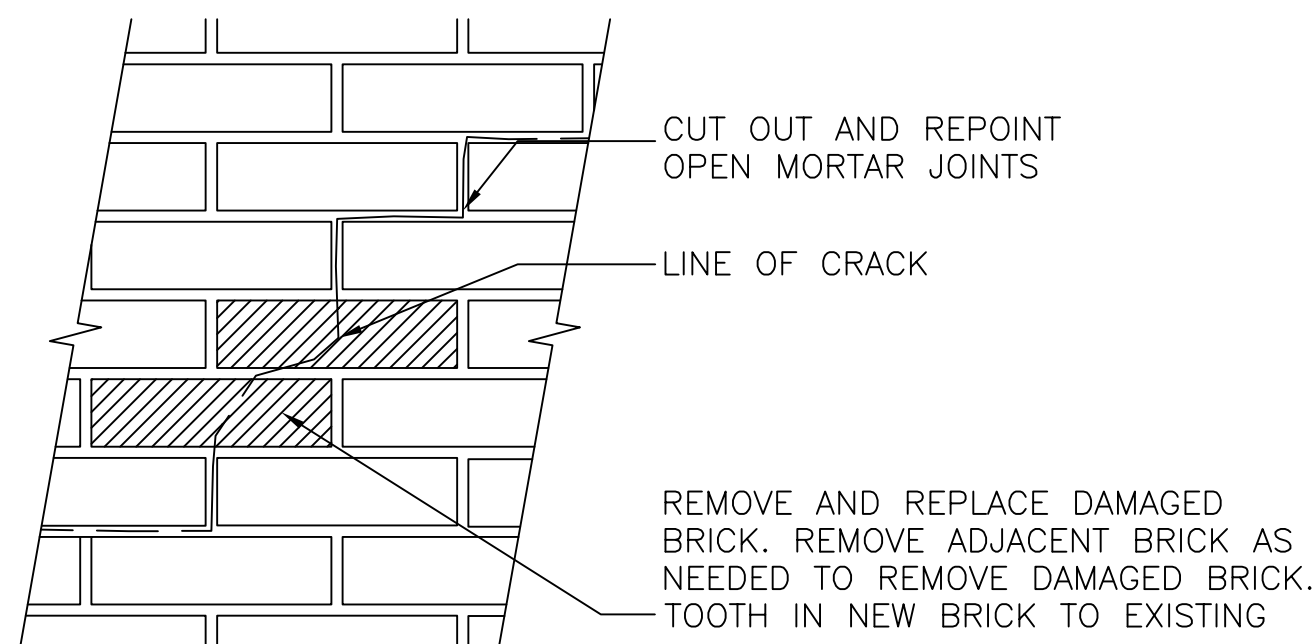


NOTE:  
AT HORIZONTAL CRACK, THE REPLACEMENT OF BRICKS SHALL BE PERFORMED IN SECTIONS OF 3'-0" EACH.

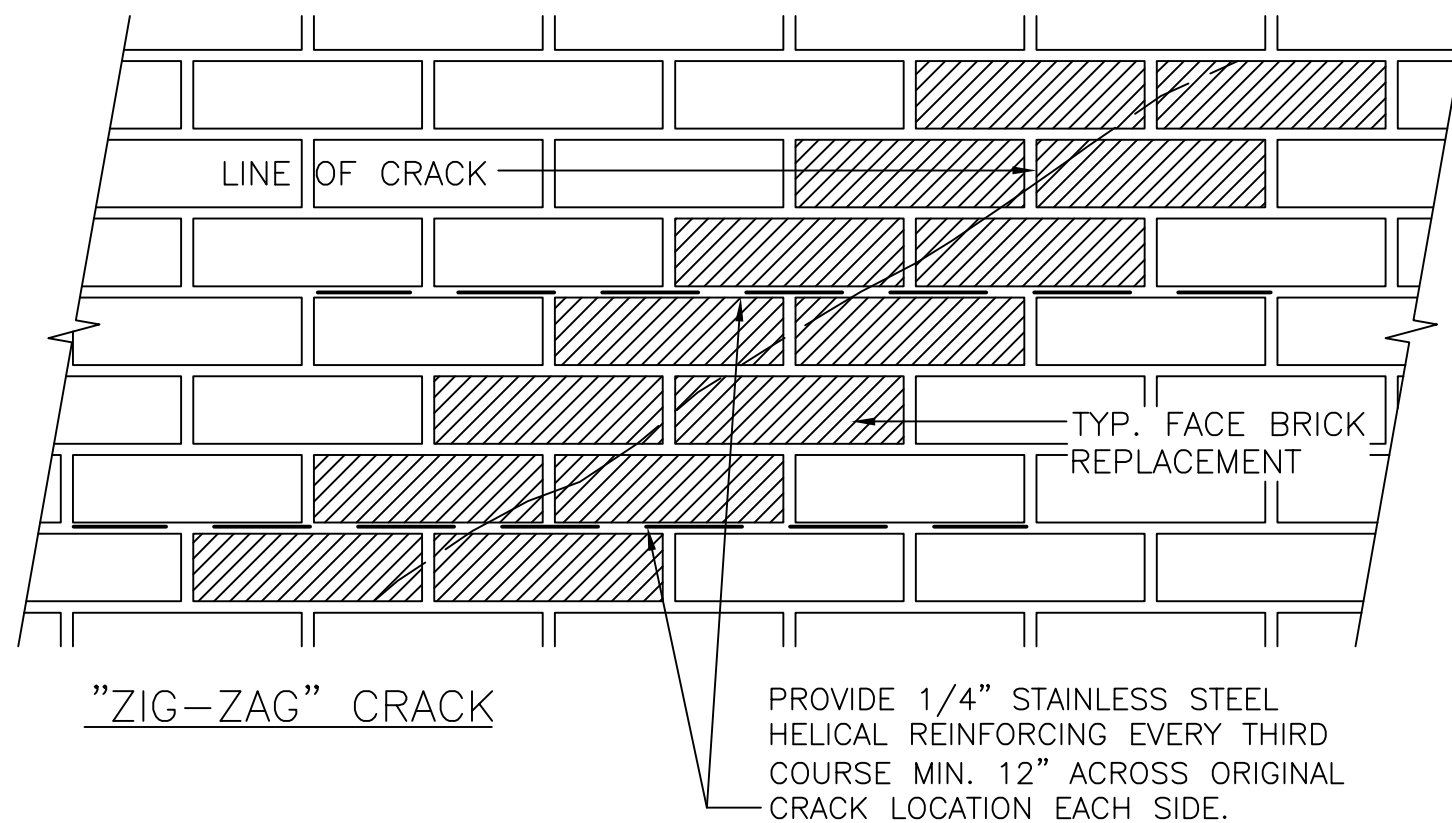
#### HORIZONTAL CRACK



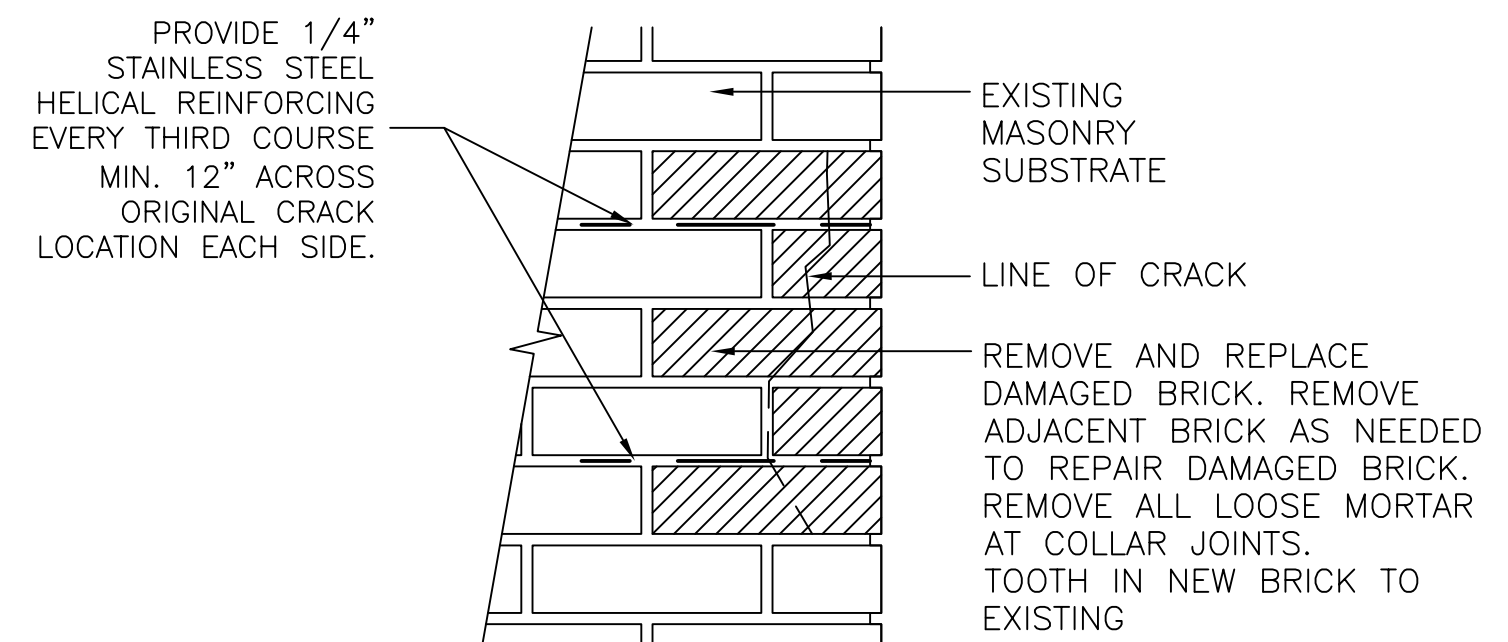
#### VERTICAL CRACK



#### MORTAR JOINT CRACK



#### "ZIG-ZAG" CRACK



#### VERTICAL CRACK AT CORNER

NOTE: PERMIT ENGINEERING REVIEW OF ALL CORNER CRACK REPAIRS IN FIELD FOR DISCUSSION OF REINFORCING STRATEGY.

4  
D1

#### TYPICAL BRICK MASONRY CRACK REPAIR - VERTICAL & HORIZONTAL CRACKS

5  
D1

#### TYPICAL BRICK MASONRY CRACK REPAIR - STEP CRACKING

6  
D1

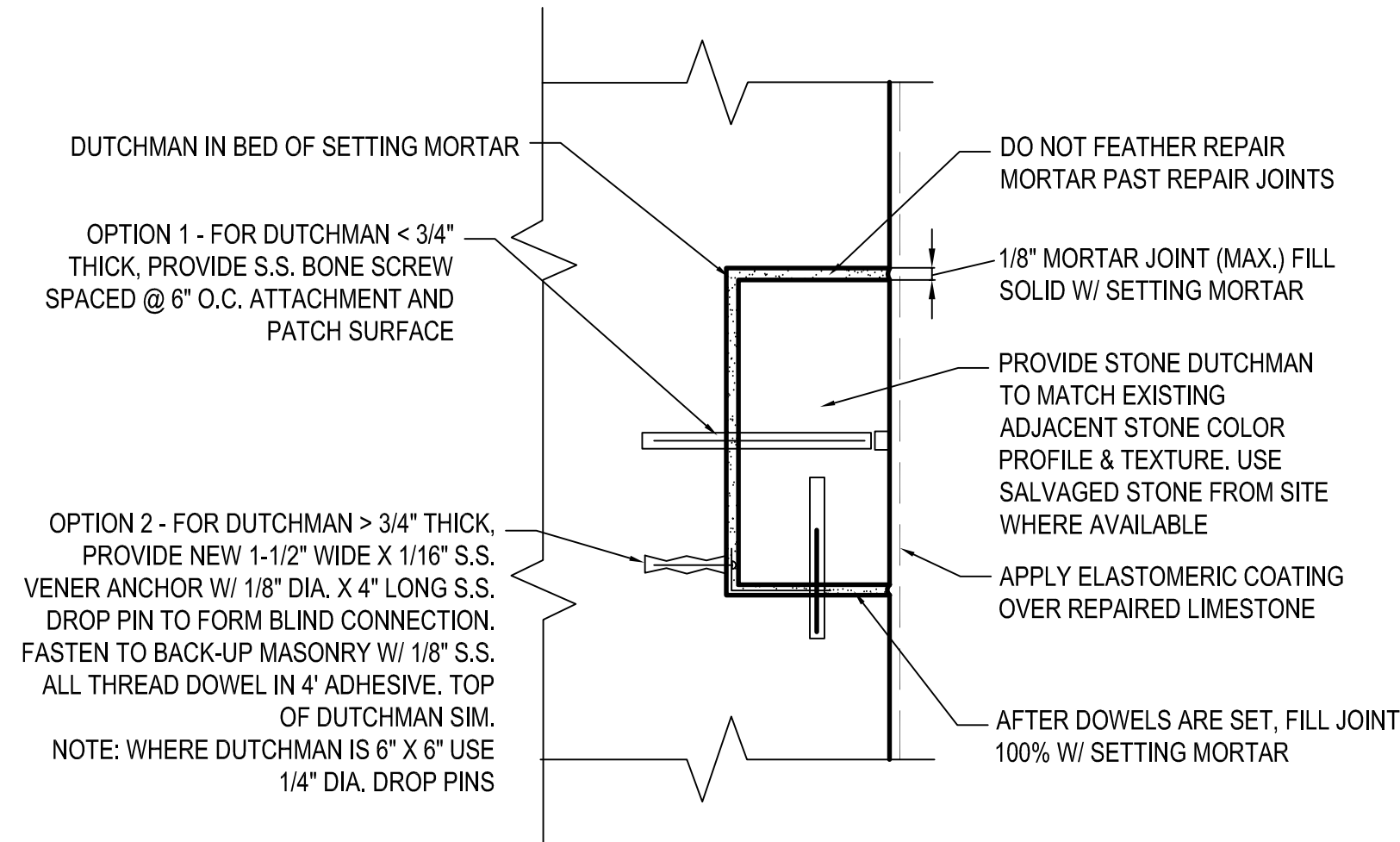
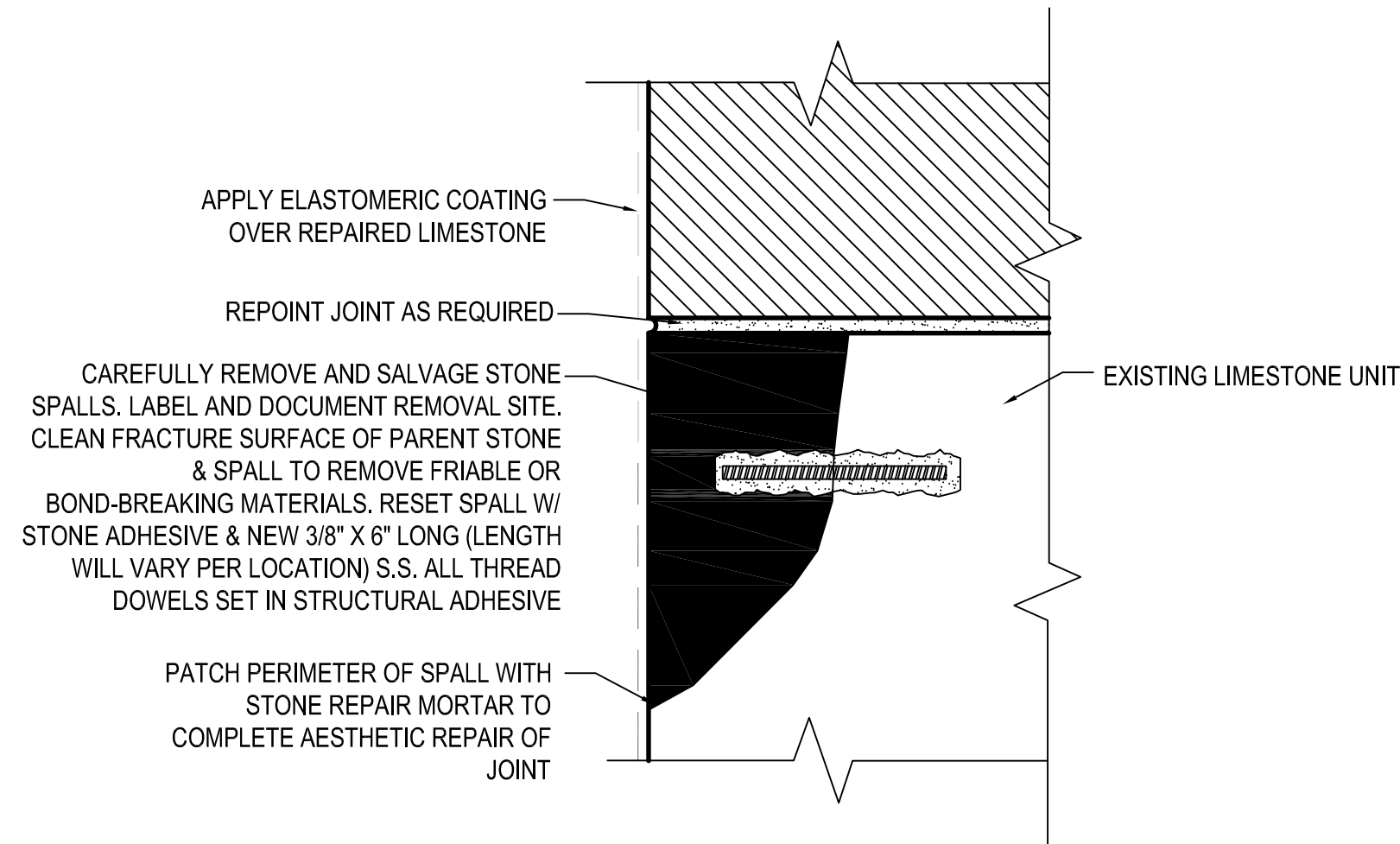
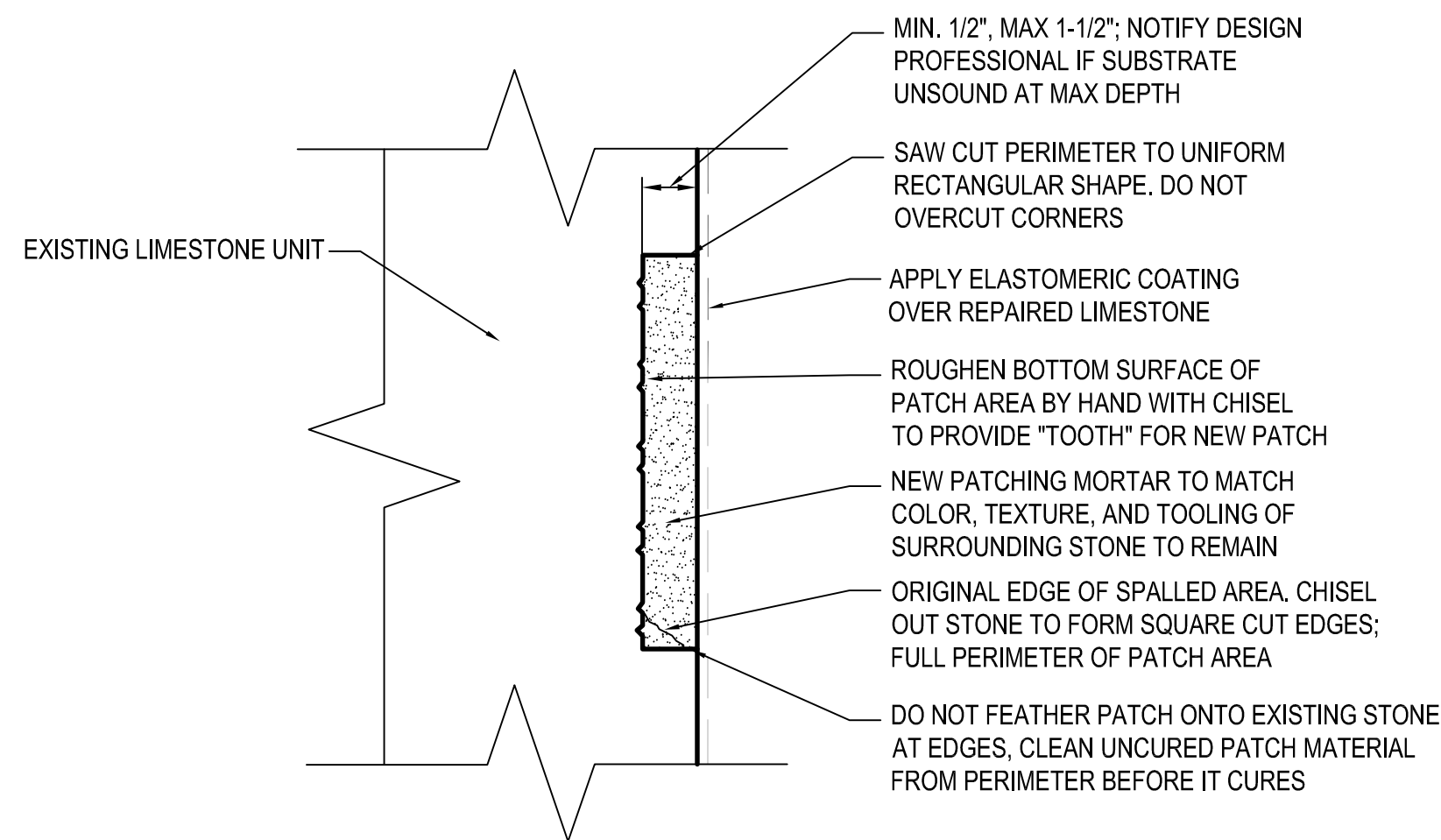
#### TYPICAL BRICK MASONRY CRACK REPAIR - CORNER CRACKS

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D1  
DETAILS





7  
D2

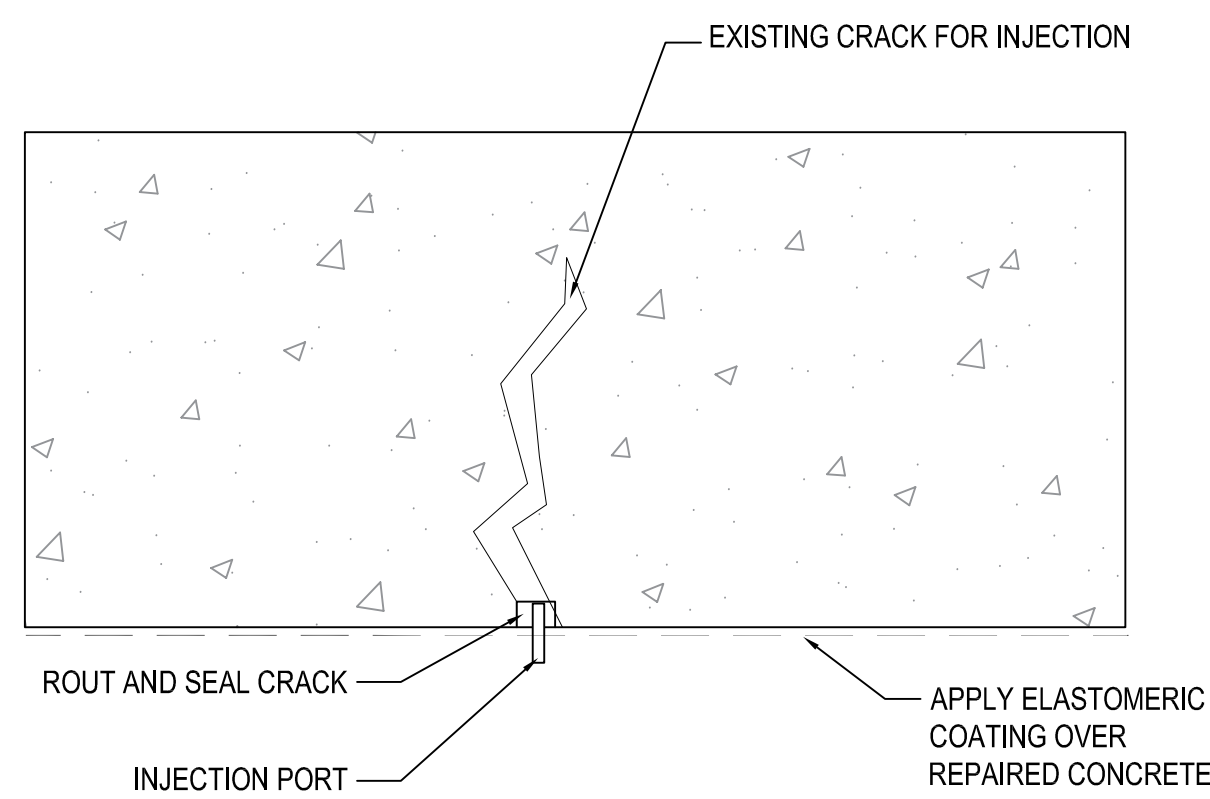
TYPICAL LIMESTONE REPAIR - LESS THAN 1" DEPTH

8  
D2

TYPICAL LIMESTONE SPALL REPAIR

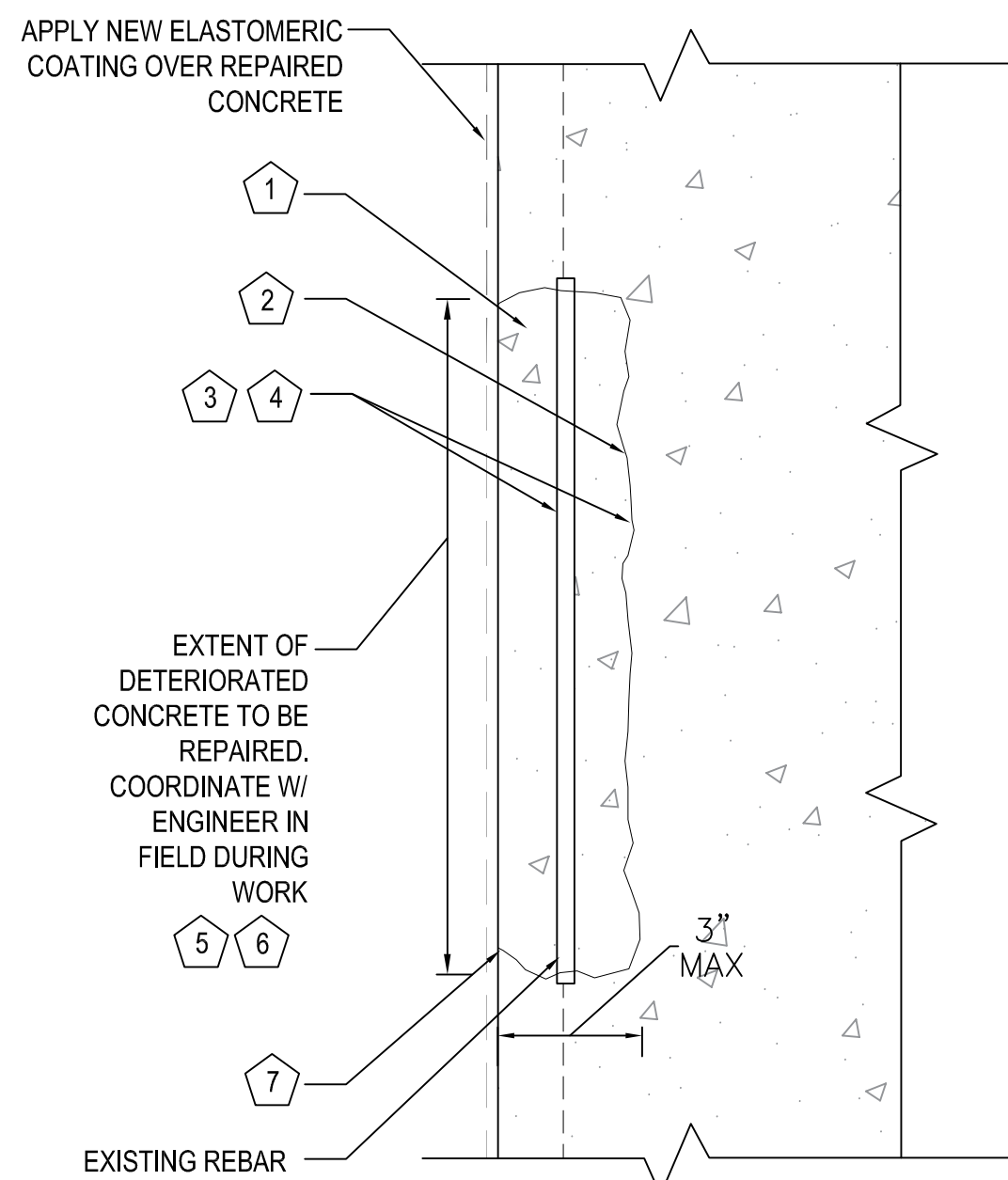
9  
D2

TYPICAL LIMESTONE DUTCHMAN REPAIR



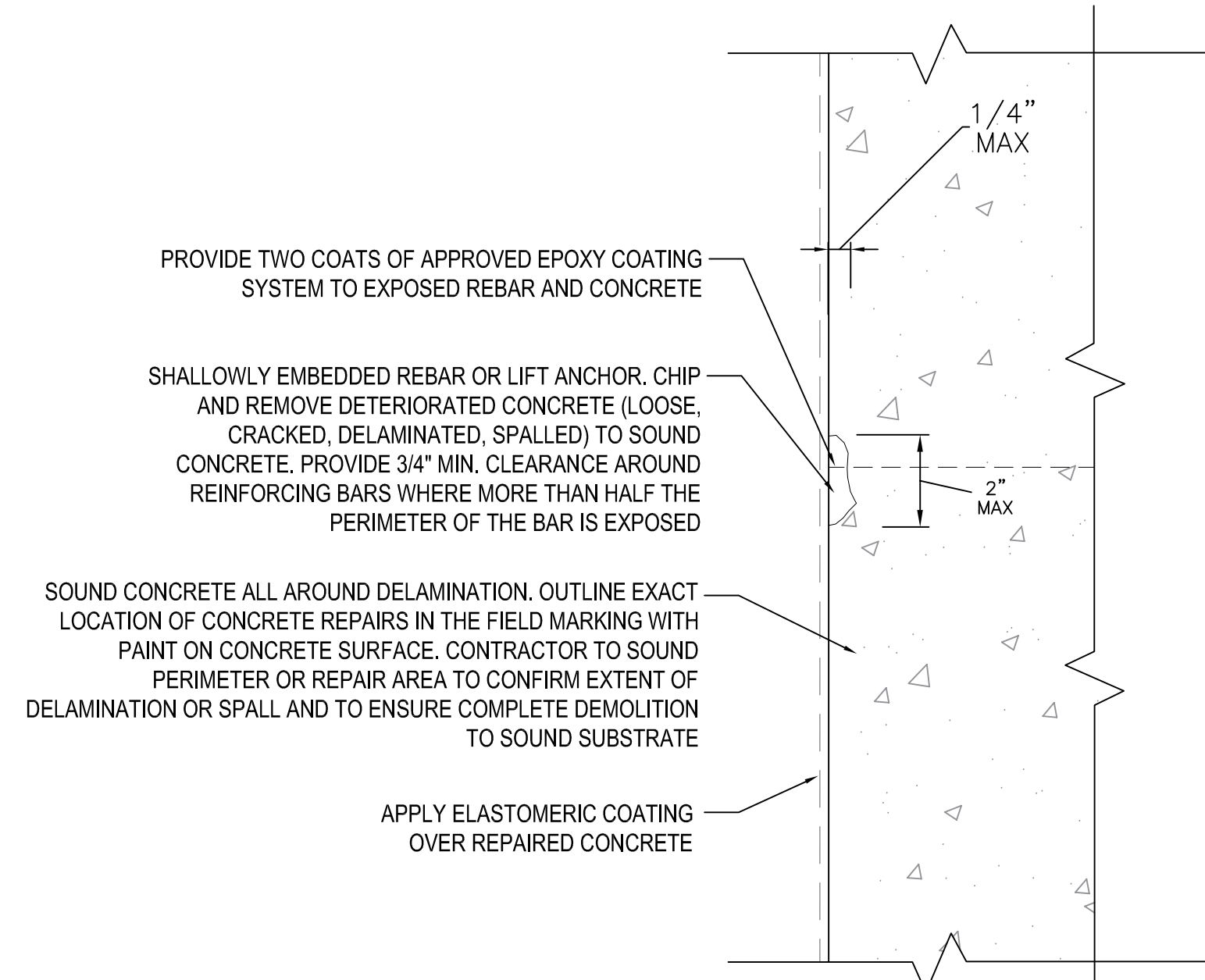
CRACK INJECTION SCOPE OF WORK

- 1.) PROTECT SURROUNDING CONSTRUCTION FROM OVERFLOW OF INJECTION MATERIALS.
- 2.) PREPARE CONCRETE SUBSTRATE. MIX/PLACE AND CURE INJECTION MATERIALS PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 3.) ROUT AND SEAL THE CRACKS TO BE INJECTED WITH APPROVED AND COMPATIBLE SEALANT. PERMIT ADEQUATE CURE TIME IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- 4.) DRILL A SERIES OF HOLES THROUGH THE SEALANT JOINT ALONG THE LENGTH OF THE CRACK AT AN APPROXIMATE SPACING OF 12" O.C. AND INSTALL INJECTION PORTS.
- 5.) FLUSH CRACK PRIOR TO INJECTION IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
- 6.) WORKING FROM LOWEST POINT TO HIGHEST POINT, INJECT MATERIAL INTO PORTS UNTIL INJECTION MATERIAL IS SEEN AT THE NEXT HIGHEST POINT. CAP LOWER PORT, AND CONTINUE PROCESS WITH HIGHER PORTS. WORKING SEQUENTIALLY.
- 7.) FOLLOWING CURE OF INJECTION MATERIALS, REMOVE PORTS AND PROVIDE MATCHING SEALANT TO ROUTED CRACK. ENSURE SEALANT IS FLUSH AND MEETS PROJECT AESTHETIC REQUIREMENTS.



GENERAL NOTES:

- 1.) SOUND CONCRETE ALL AROUND DELAMINATION. OUTLINE EXACT LOCATION OF CONCRETE REPAIRS IN THE FIELD MARKING WITH PAINT ON CONCRETE SURFACE. CONTRACTOR TO SOUND PERIMETER OR REPAIR AREA TO CONFIRM EXTENT OF DELAMINATION OR SPALL AND TO ENSURE COMPLETE DEMOLITION TO SOUND SUBSTRATE
- 2.) CHIP AND REMOVE DETERIORATED CONCRETE (LOOSE, CRACKED, DELAMINATED, SPALLED) TO SOUND CONCRETE. PROVIDE 3/4" MIN. CLEARANCE AROUND REINFORCING BARS WHERE MORE THAN HALF THE PERIMETER OF THE BAR IS EXPOSED
- 3.) SANDBLAST EXISTING CONCRETE AND REINFORCEMENT TO PROVIDE CLEAN SURFACE FREE OF DUST, DEBRIS, BIOLOGICAL GROWTH, OILS OR COATINGS. IN AREAS WHERE THE EXISTING STEEL MEMBERS (REBAR, STRUCTURAL STEEL) HAVE RUSTED AND LOST EXCESS OF 10% OF THEIR CROSS SECTION, AREA SHALL BE BROUGHT TO ENGINEERS ATTENTION. CORRODED REINFORCEMENT SHALL BE REMOVED AND REPLACED AT ENGINEERS DISCRETION. REPLACEMENT REBAR SHOULD BE #4 EPOXY COATED REBAR DEVELOPED MIN. 6" INLINE WITH EXISTING REINFORCEMENT.
- 4.) CUT BACK ANY EXPOSED REBAR IN PATCH AREA SUCH THAT A MIN. CONCRETE COVER OF 1" CAN BE ACHIEVED WITHIN CONCRETE PATCH AREA
- 5.) DESIGN AND CONSTRUCT FORMWORK AS NECESSARY TO BE READILY REMOVABLE WITHOUT IMPACT, SHOCK, OR DAMAGE TO NEW CONCRETE SURFACES AND ADJACENT MATERIALS.
- 6.) PLACE, FINISH, AND CURE CONCRETE PATCH MATERIAL IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS. FINISH PATCH TO MATCH EXISTING/ADJACENT CONCRETE SURFACE PROFILE AND TEXTURE.
- 7.) SAWCUT ALL EDGES OF REPAIRS USING A TILTED BLADE TO PROVIDE A KEYPED PATCH. MIN. SAWCUT 1/2" DEPTH.



10  
D2

TYPICAL CONCRETE CRACK INJECTION DETAIL

11  
D2

TYPICAL PARTIAL VERTICAL CONCRETE REPAIR DETAIL

12  
D2

TYPICAL CONCRETE SPALL REPAIR DETAIL

INITIALS/DATE	
DRAWN	INT 5/5/2025
APPROVED	
REVISED	1
APPROVED	
REVISED	2
APPROVED	
REVISED	3
APPROVED	
APPROVED FOR BIDS	
ISSUED FOR BID	

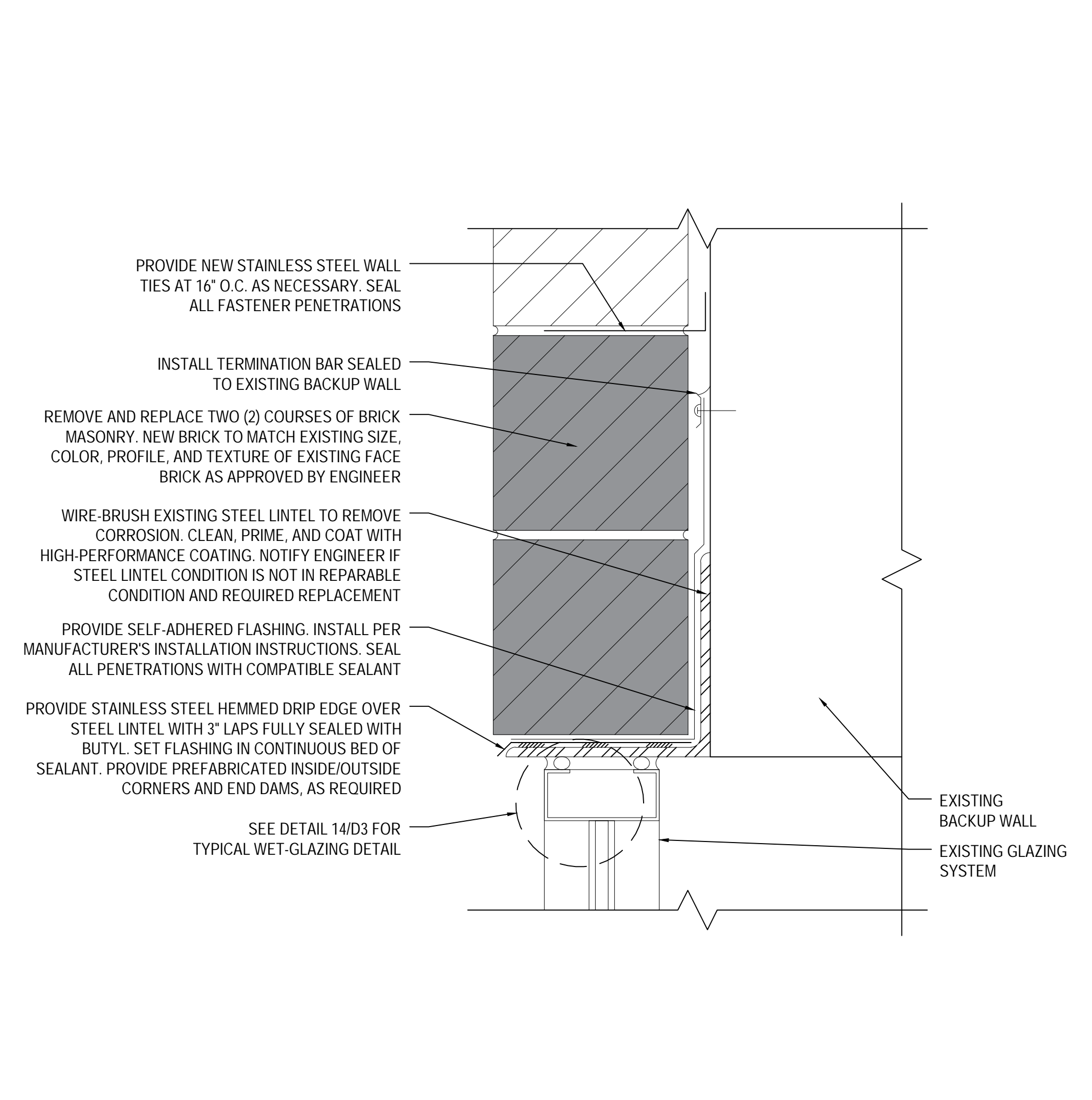
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MORTUARY SCIENCE BUILDING  
WSU PROJECT #065-400479

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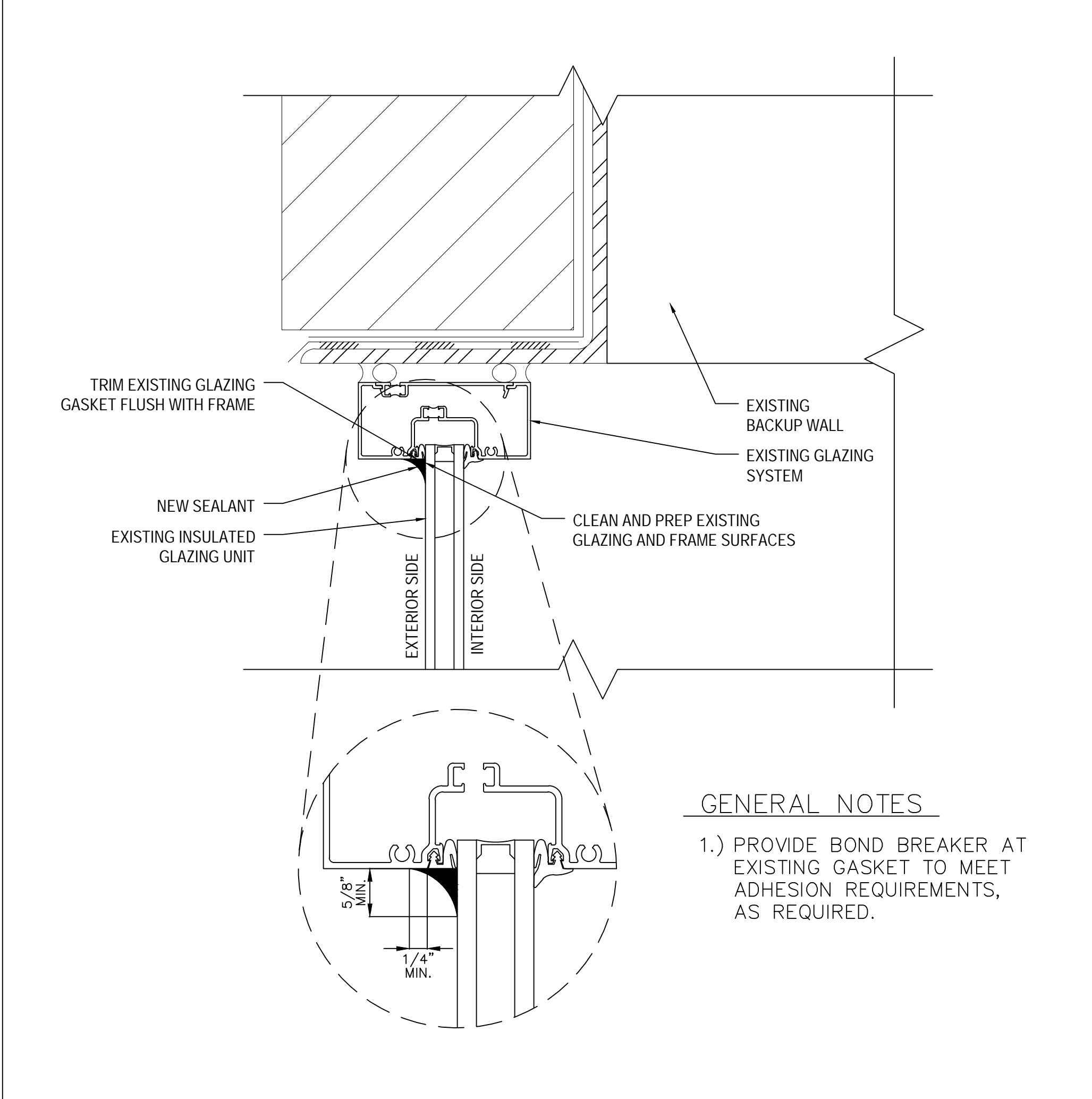
D2  
DETAILS





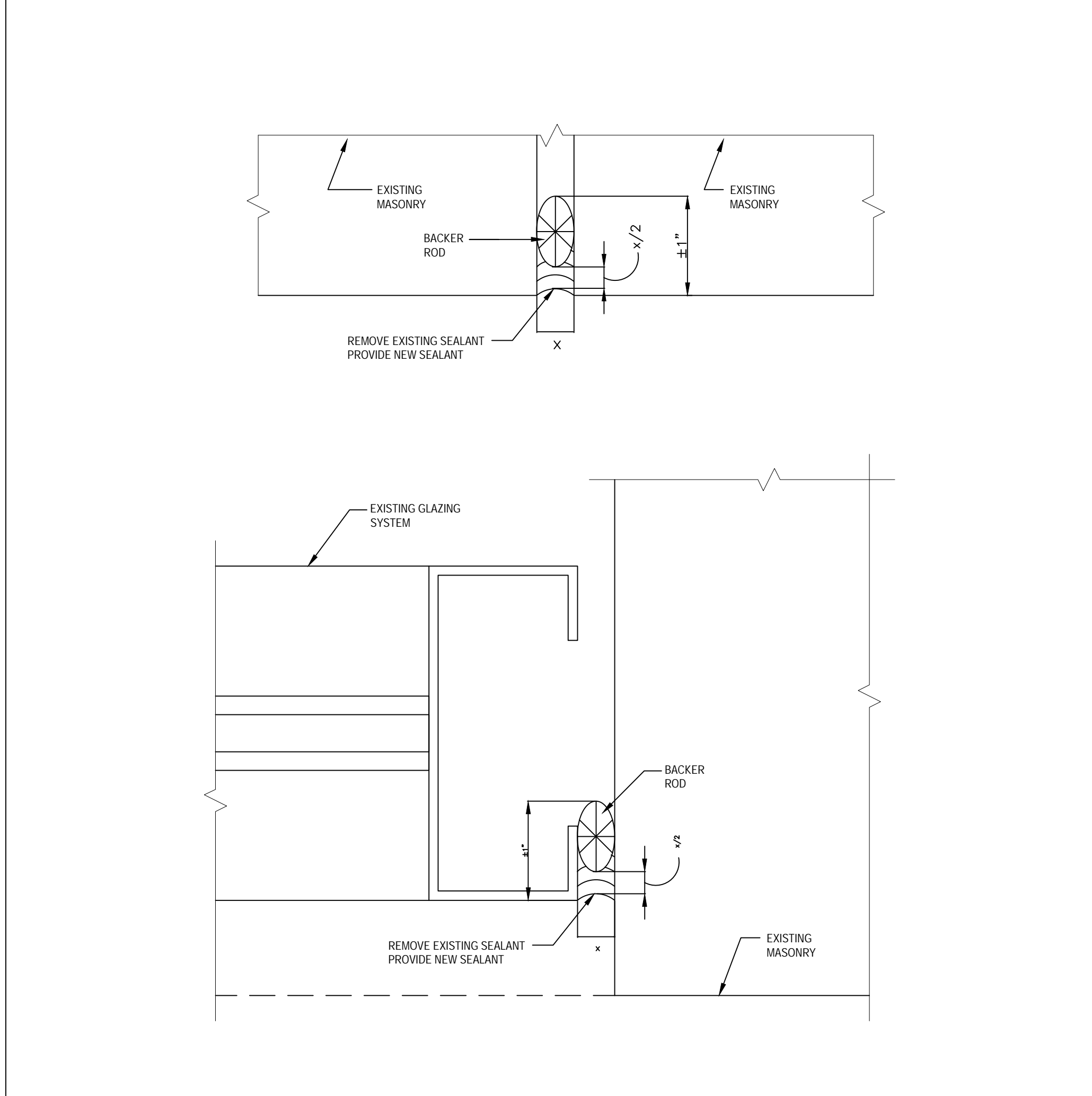
13  
D3

TYPICAL STEEL LINTEL & FLASHING REPAIR DETAIL



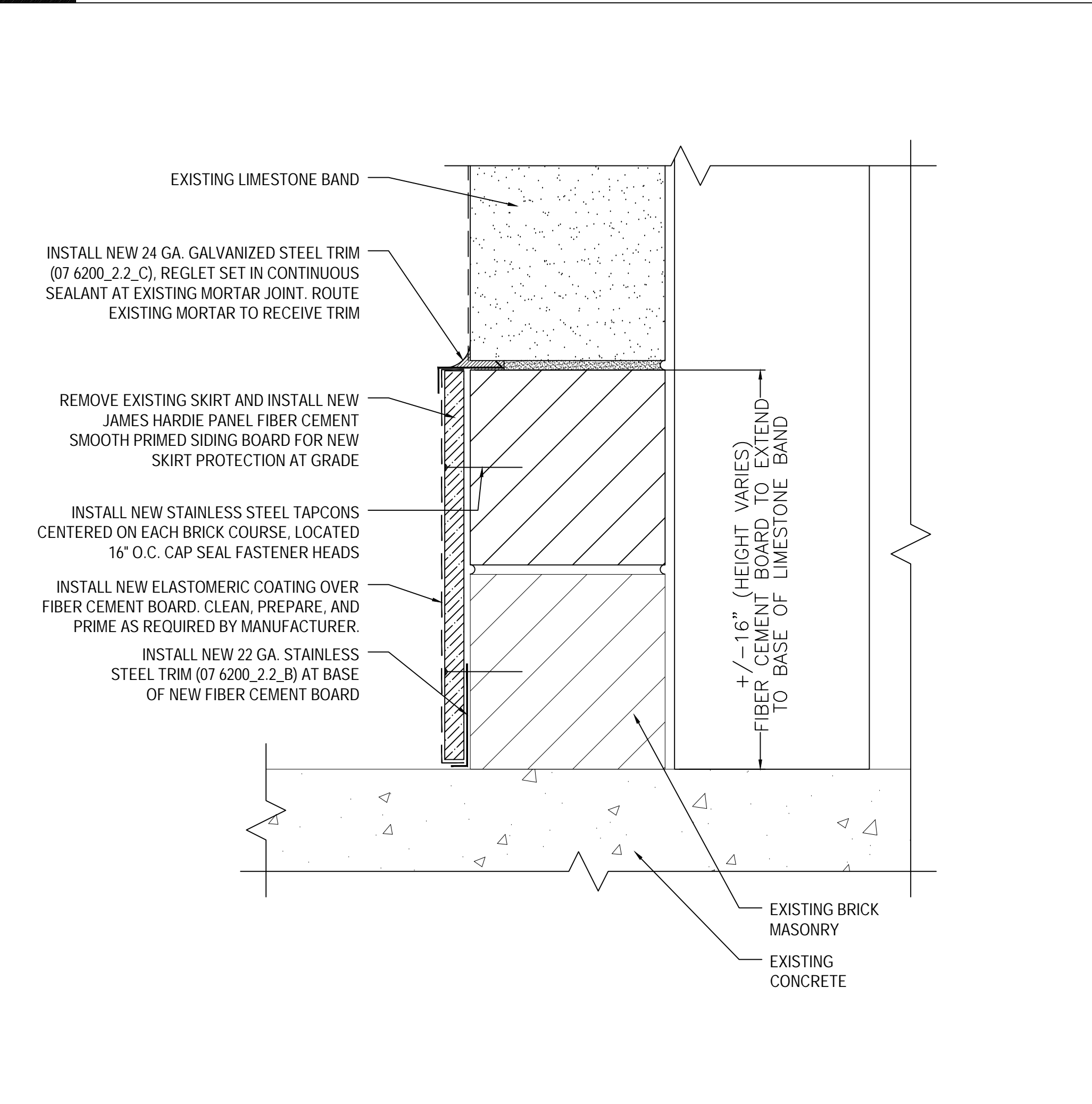
14  
D3

TYPICAL WET-GLAZING DETAIL



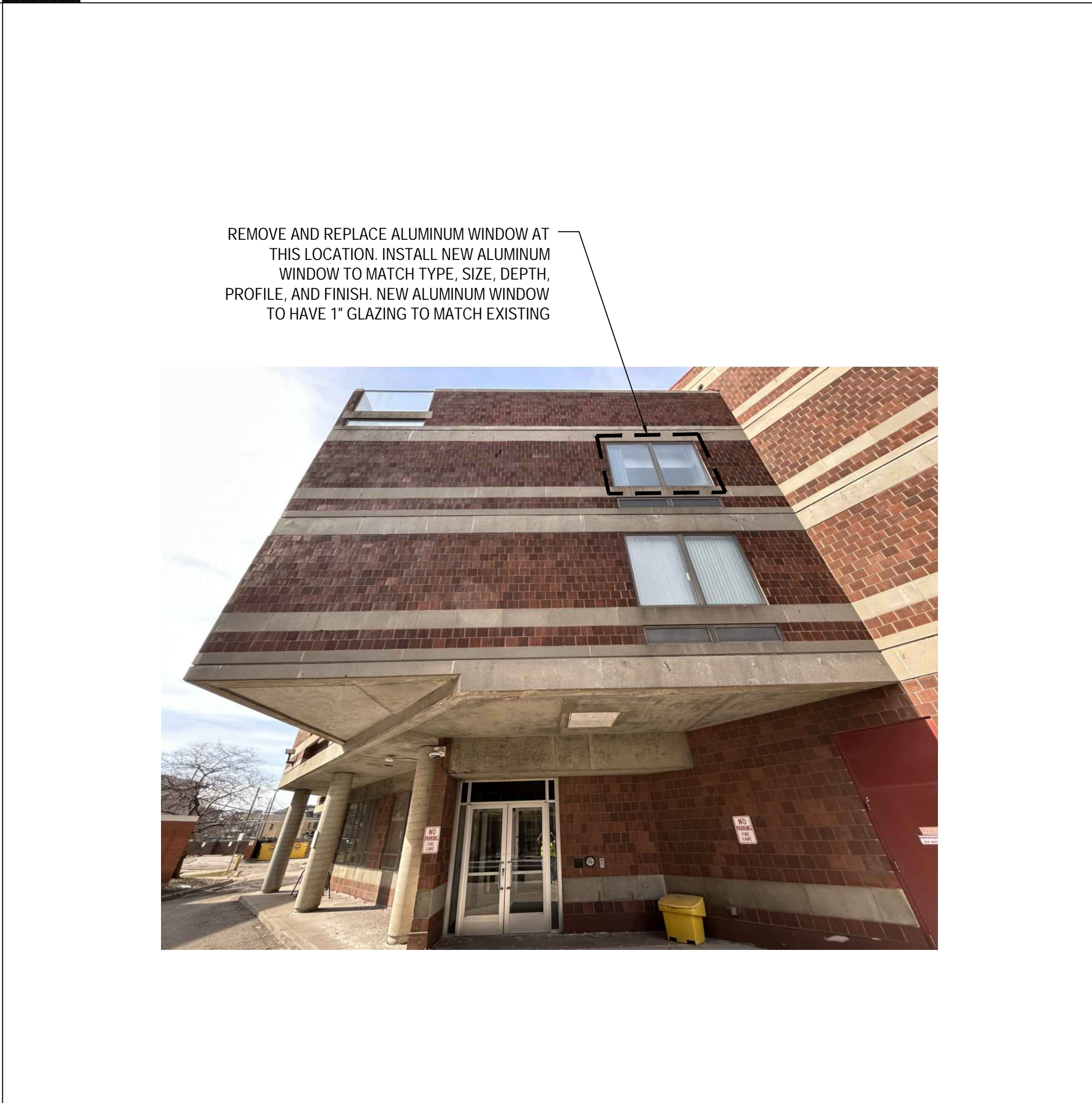
15  
D3

TYPICAL JOINT SEALANT REPLACEMENT DETAILS



16  
D3

TYPICAL EXTERIOR SKIRT PROTECTION AT GRADE DETAIL



17  
D3

ALUMINUM WINDOW REPLACEMENT DETAIL



18  
D3

TERRACE WATERPROOFING REPLACEMENT DETAIL

INITIALS/DATE	
DRAWN	INT 5/5/2025
APPROVED	
REVISED	1
APPROVED	
REVISED	2
APPROVED	
REVISED	3
APPROVED	
APPROVED FOR BIDS	
ISSUED FOR BID	

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D3  
DETAILS





REMOVE EXISTING FINISH. CLEAN, PREPARE, AND PRIME LOUVER PER MANUFACTURER'S INSTRUCTIONS. APPLY NEW FLUOROPON 70% PVDV EXTERIOR COATING, COLOR TO MATCH EXISTING.



PATCH AND REPAIR CRACKS AND DAMAGE AT EXISTING STUCCO SOFFIT. APPLY NEW STUCCO FINISH AT REPAIRS TO MATCH EXISTING

19  
D4

ALUMINUM LOUVER FINISH RESTORATION DETAIL

20  
D4

STUCCO SOFFIT RESTORATION DETAIL

INITIALS/DATE		
DRAWN	INT	5/5/2025
APPROVED		
REVISED 1		
APPROVED		
REVISED 2		
APPROVED		
REVISED 3		
APPROVED		
APPROVED FOR BIDS		
ISSUED FOR BID		

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