

WAYNE STATE
UNIVERSITY

WAYNE STATE UNIVERSITY FP&M

SCHOOL OF SOCIAL WORK - PHASE 2

5447 WOODWARD

DETROIT, MI 48202

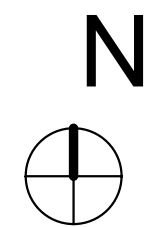
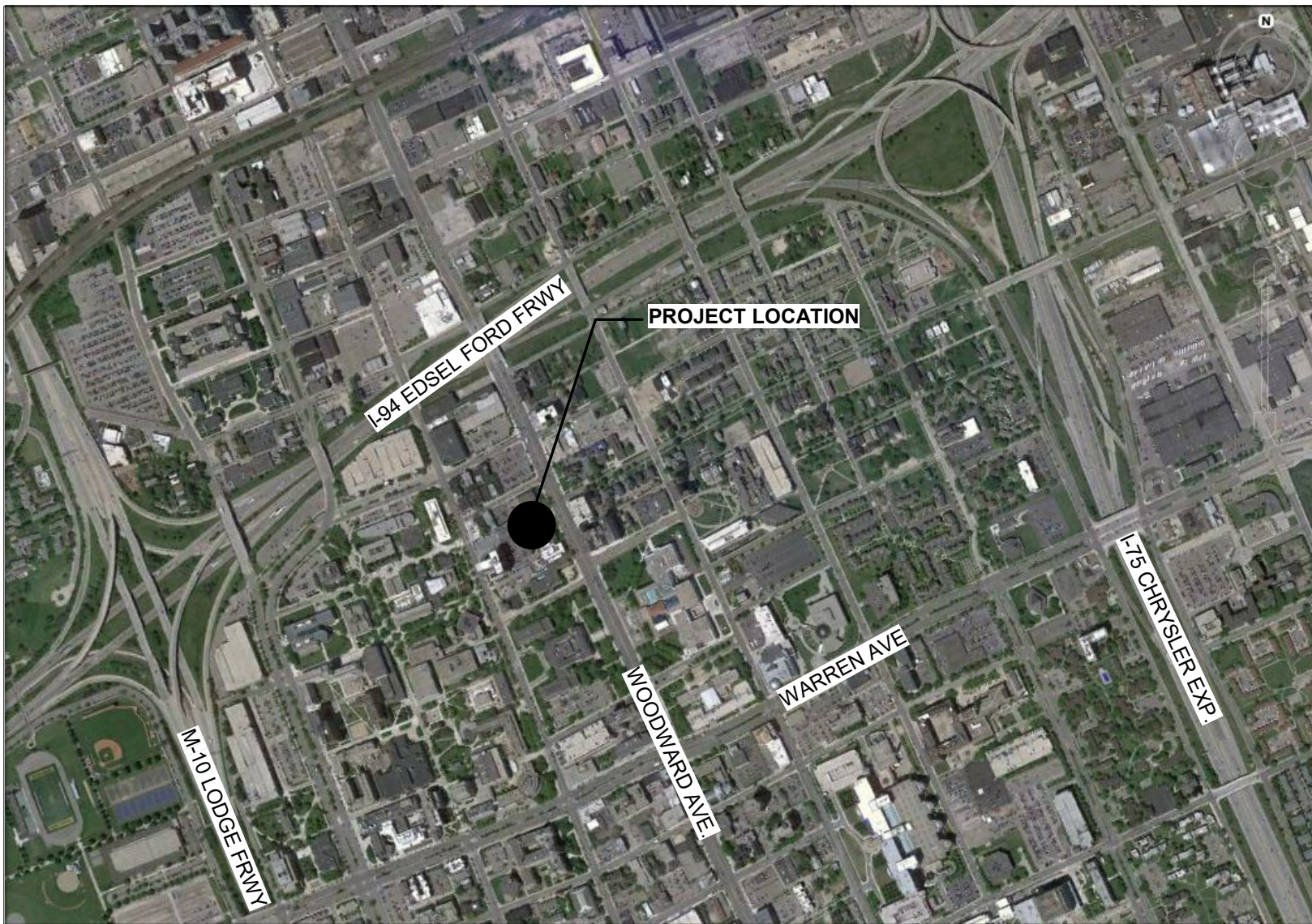
ASBESTOS ABATEMENT SERVICES

WSU PROJECT # 063-301464

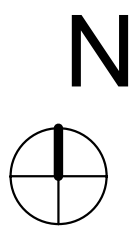
Issued: June 20, 2019

Issued for Reference Only

LOCATION MAP:



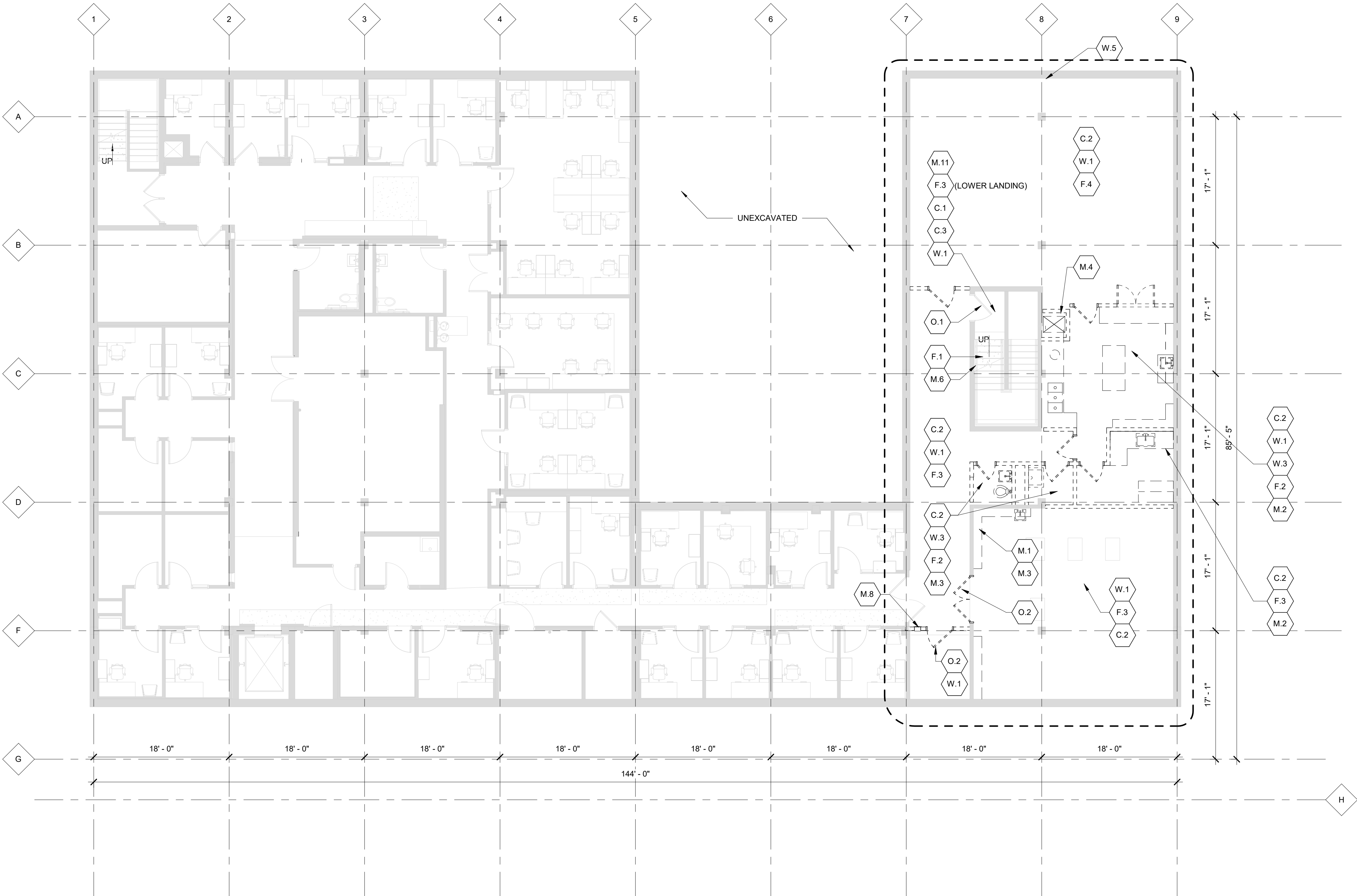
SITE MAP:



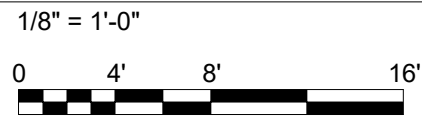
PROJECT CONTACTS:

OWNER:
Wayne State University Facilities Planning & Management 5454 Cass Avenue Detroit, MI 48202
ARCHITECT/LANDSCAPE ARCHITECT:
HAMILTON ANDERSON ASSOCIATES 1435 RANDOLPH SUITE 200 DETROIT, MI 48226 313.964.0270 www.hamilton-anderson.com
MECHANICAL/ELECTRICAL ENGINEER:
PETER BASSO ASSOCIATES 5145 LIVERNOIS TROY, MI 48068 248.879.5666 www.pbnet.com
STRUCTURAL ENGINEER:
DESAI/NASR CONSULTING ENGINEERS 6765 DALY RD WEST BLOOMFIELD, MI 48322 313.932.2010 www.desainasr.com

Issued for Reference Only



LOWER LEVEL DEMOLITION PLAN



DEMOLITION SCOPE

CEILING:

- C.1 WHERE CEILING IS INDICATED TO REMAIN: REMOVE ALL CEILING MOUNTED EQUIPMENT. REMOVE DUST, DIRT AND DEBRIS. REMOVE ALL LOOSE AND PEELING PAINT.
- C.2 REMOVE ALL CEILINGS, SOFFITS, AND SUPPORT SYSTEMS UNLESS OTHERWISE INDICATED; REMOVE ALL CEILING MOUNTED EQUIPMENT, RAILS, LIGHTS, GRILLES, PANELS, TILES, FRAMING AND SUSPENSION SYSTEMS. REMOVE ALL ORIGINAL PLASTER AND LATH CEILINGS TO EXPOSE CONCRETE STRUCTURE.
- C.3 PLASTER CEILINGS IN STAIRWELLS AND LANDINGS TO REMAIN. U.N.O. REMOVE DUST, DIRT AND DEBRIS. REMOVE ALL LOOSE AND PEELING PAINT FROM PLASTER OR GYP BOARD.
- C.4 REMOVE CEILING, BLOCKING AND WINDOW TREATMENT REQUIRED FOR EXTERIOR WINDOW REPLACEMENT. WINDOW TREATMENT TO BE REMOVED AND NUMBERED FOR REINSTALLATION.

WALLS:

- W.1 WHERE COLUMNS AND EXISTING PLASTER, GYP BOARD, CMU OR CONCRETE WALLS ARE TO REMAIN: REMOVE ALL LOOSE AND PEELING PAINT.
- W.2 FEATURE WALL TO REMAIN.
- W.3 REMOVE EXISTING TILE, GROUT, AND PLASTER FROM WALLS AND COLUMNS
- W.4 REMOVE EXISTING WALL PANELS AND FASTENERS.
- W.5 EXISTING BRICK WALL TO REMAIN. REMOVE ANY ITEMS AFFIXED TO WALL.

FLOORS:

- F.1 EXISTING VINYL/RESILIENT OR LINOLEUM TILE OR TERRAZZO INDICATED TO REMAIN: REMOVE ALL DEBRIS, DUST AND DIRT.
- F.2 REMOVE ALL EXISTING CERAMIC OR CLAY TILE FLOORS AND BASE DOWN TO STRUCTURAL SLAB.
- F.3 REMOVE EXISTING WALL BASE, AND REMOVE FLOOR FINISH DOWN TO STRUCTURAL SLAB.
- F.4 REMOVE ALL CARPET, WALL BASE AND ADHESIVE DOWN TO STRUCTURAL SLAB.
- O.1 WHERE EXISTING PAINTED AND FRAMED DOORS ARE TO REMAIN: REMOVE ALL LOOSE AND PEELING PAINT. REMOVE HARDWARE FOR REPLACEMENT WHERE INDICATED IN THE DOOR SCHEDULE.
- O.2 REMOVE DOOR, HARDWARE AND FRAME IN ITS ENTIRETY. REMOVE SIDELIGHTS & TRANSOMS WHERE APPLICABLE.
- O.3 NOT USED
- O.4 REMOVE INDICATED EXTERIOR WALL FOR INSTALLATION OF NEW LINTEL & FRAME. SEE STOREFRONT SCHEDULE ON SHEET A3.1.1 AND DETAILS ON SHEET A4.2.1.
- O.5 EXISTING STAINED DOORS ARE TO BE REMOVED & NUMBERED FOR REINSTALLATION OR RELOCATION. REMOVE HARDWARE FOR REPLACEMENT WHERE INDICATED.
- O.6 REMOVE INDICATED PORTION OF THE PARTITION FOR INSTALLATION OF NEW LINTEL AND FRAME. SEE DOOR SCHEDULE SHEET A7.1.1 FOR DOOR SIZES AND SHEET A4.1.1 FOR NEW LINTEL.

MISC.:

- M.1 ALL CABINETS AND MILLWORK IS TO BE REMOVED IN ITS ENTIRETY.
- M.2 REMOVE PLUMBING, KITCHEN EQUIPMENT, CABINETS AND COUNTER TOPS COMPLETE
- M.3 ALL SINKS, DRINKING FOUNTAINS, TOILETS, LAVATORIES, URINALS, TUBS/SHOWERS AND WALL-MOUNTED TOILET ROOM ACCESSORIES ARE TO BE REMOVED UNLESS SPECIFICALLY NOTED TO BE SALVAGED. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
- M.4 REMOVE DUMBWAITER AND SHAFT
- M.5 REMOVE MECHANICAL SHAFT: FILL HOLES IN CONCRETE SLAB ABOVE &/OR BELOW; SEE SHEET A4.1.1
- M.6 REMOVE LOWER WOOD HANDRAILS. TOP RAIL TO REMAIN
- M.7 EXISTING JANITOR'S CLOSET TO REMAIN INCLUDING FINISHES AND PLUMBING FIXTURES
- M.8 REMOVE FIRE EXTINGUISHER EQUIPMENT
- M.9 REMOVE WINDOW SILLS AS REQUIRED FOR WINDOW REPLACEMENT
- M.10 NEW FLOOR PENETRATION. COORDINATE WITH MECHANICAL. PENETRATIONS NOT TO INTERFERE WITH CONCRETE WEB JOISTS- REFER TO STRUCTURAL DETAILS (SHEET A4.1.1).
- M.11 EXISTING STAIR SIGANCE TO BE REMOVED AND NUMBERED FOR REINSTALLATION.

NOTE:
OWNER IS RESPONSIBLE FOR HAZARDOUS MATERIAL REMEDIATION. GC TO COORDINATE HAZARDOUS MATERIAL REMEDIATION. REFER TO HAZARDOUS MATERIAL REPORT FROM OWNER.

DEMOLITION GENERAL NOTES

1. CONTRACTOR SHALL PROVIDE DEMOLITION AS REQUIRED FOR NEW CONSTRUCTION. REFER TO CONTRACT DOCUMENTS FOR EXTENT OF NEW WORK.
2. CONTRACTOR SHALL VISIT SITE TO VERIFY ACTUAL EXTENT OF DEMOLITION PRIOR TO BID. DO NOT RELY SOLELY ON THE DRAWINGS FOR DEMOLITION SCOPE. ALL DEMOLITION REQUIRED TO CARRY OUT THE WORK OF THE CONTRACT SHALL BE PART OF THE CONTRACT. NO ADDITION TO THE CONTRACT AMOUNT WILL BE ALLOWED DUE TO FAILURE TO FIELD VERIFY DEMOLITION SCOPE OR FAILURE TO EXAMINE ALL CONTRACT DOCUMENTS.
3. VERIFY AND INVESTIGATE ALL CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION, NOTIFY ARCHITECT OF DISCREPANCIES. LOCATE AND IDENTIFY SERVICES TO REMAIN IN OPERATION, INCLUDING ALL UTILITY LINES PENETRATING FLOOR, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC.
4. PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE THE PRESENCE OF AND PROTECT ACTIVE TELECOMMUNICATION, DATA & ELECTRICAL LINES AND PIPING WHICH MAY BE DAMAGED BY SUCH CUTTING.
5. COORDINATE DEMOLITION WITH OWNER'S REQUIREMENTS AND OTHER CONTRACTORS RETAINED BY THE OWNER.
6. CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS. COORDINATE WORK HOURS WITH OWNER PRIOR TO PROCEEDING WITH THE WORK
7. CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY AND SAFETY OF THE BUILDING THROUGH DEMOLITION & CONSTRUCTION.
8. SCHEDULE ALL DEMOLITION AND CONSTRUCTION WORK WITH DESIGNATED OWNER'S REPRESENTATIVE TO MINIMIZE DISRUPTION OF BUILDING ACTIVITIES.
9. FOLLOW REQUIREMENTS IN SMACNA IAQ GUIDELINES FOR OCCUPIED BUILDING UNDER CONSTRUCTION 1995 CHAPTERS 2 & 3 AS WELL AS ANY OTHER APPLICABLE ENVIRONMENTAL REQUIREMENTS.
10. CONTRACTOR IS TO PROVIDE COMPLETE DUST PROOF ENCLOSURE IN ALL AREAS WHERE DEMOLITION IS TO OCCUR. COMPLY WITH ALL OSHA, NFPA AND OTHER APPLICABLE RULES AND REGULATIONS REGARDING DUST AND DEBRIS REMOVAL.
11. UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING CONSTRUCTION TO REMAIN IS NOT DAMAGED. REPAIR OR REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES.
12. PROVIDE CONSTRUCTION WASTE MANAGEMENT PLAN PRIOR TO THE START OF DEMOLITION. TARGET 50% RECYCLING OF CONSTRUCTION WASTE.
13. REMOVE AND REINSTALL ITEMS TO BE SALVAGED WHERE INDICATED AND WHERE ADVISED BY OWNER.
14. INVENTORY AND PHOTOGRAPH SALVAGED ITEMS: LIST SHALL INCLUDE DESCRIPTION OF ITEM, DIMENSIONS (OVERALL WIDTH, HEIGHT, DEPTH), COLOR, APPROX. WEIGHT AND PHOTO.
15. CONTRACTOR SHALL PROTECT ALL STRUCTURAL ELEMENTS FROM DAMAGE DURING CONSTRUCTION.
16. PROTECT EXISTING EXTERIOR DOORS, WINDOWS, GLAZING, AND FRAMES.
17. PROTECT EXISTING INTERIOR DOORS, WINDOWS, GLAZING, AND FRAMES, THAT ARE TO REMAIN (TYP.)
18. REFER TO SPECIFICATIONS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
19. ALL SURFACES THAT ARE TO REMAIN ARE TO BE CLEANED W/ WATER & DETERGENT PRIOR TO INSTALLATION OF NEW FINISHES
20. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.
21. WHEN REMOVING MECHANICAL, ELECTRICAL AND PLUMBING ITEMS, REMOVE ALL ASSOCIATED FASTENERS, CABLE, RODS, ETC.
22. DO NOT PROCEED WITH NEW FLOOR OPENINGS OR WALL OPENINGS UNTIL NEW SUPPORT STRUCTURE IS IN PLACE, SEE STRUCTURAL DETAILS (SHEET A4.1.1).

DEMOLITION LEGEND

- REMOVE WALL COMPLETE
- EXISTING STUD & GYP/PLASTER CONSTRUCTION TO REMAIN, U.N.O.
- REMOVE DOOR, FRAME, AND HARDWARE COMPLETE
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING TERRAZZO STAIR / LANDING
- AREA OF WORK (BASE PROJECT)

HamiltonAnderson
architecture landscape architecture urban design

Hamilton Anderson Associates, Inc
1435 Randolph Suite 200
Detroit, Michigan 48226
p 313 964 0270 f 313 964 0170
www.hamilton-anderson.com

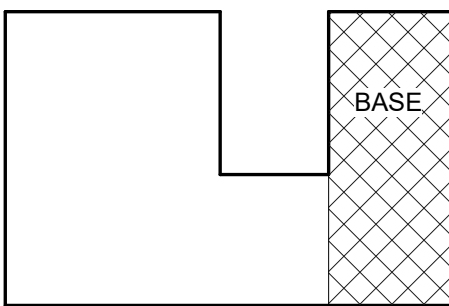
MEP Engineer Peter Basso Associates
5145 Livernois
Troy, MI 48098
248.879.5666
Structural Engineer Desai/Nasr Consulting Engineer
6765 Daly Rd
West Bloomfield, MI 48322
248.932.2010

WAYNE STATE
UNIVERSITY

Client
WAYNE STATE UNIVERSITY
FP&M

5454 Cass Avenue
Detroit, Michigan

Key Plan:



ASBESTOS ABATEMENT SERVICES

WSU PROJECT # 063-301464

Issued: June 20, 2019

Issued for Reference Only

Project
SCHOOL OF SOCIAL
WORK - PHASE 2
5447 Woodward, Detroit, MI

Drawing Title
LOWER LEVEL
DEMOLITION PLAN

Project Number: 2013088.22 WSU Project No: 063-301464

Drawn By: HMI/JAM Approved By: RH

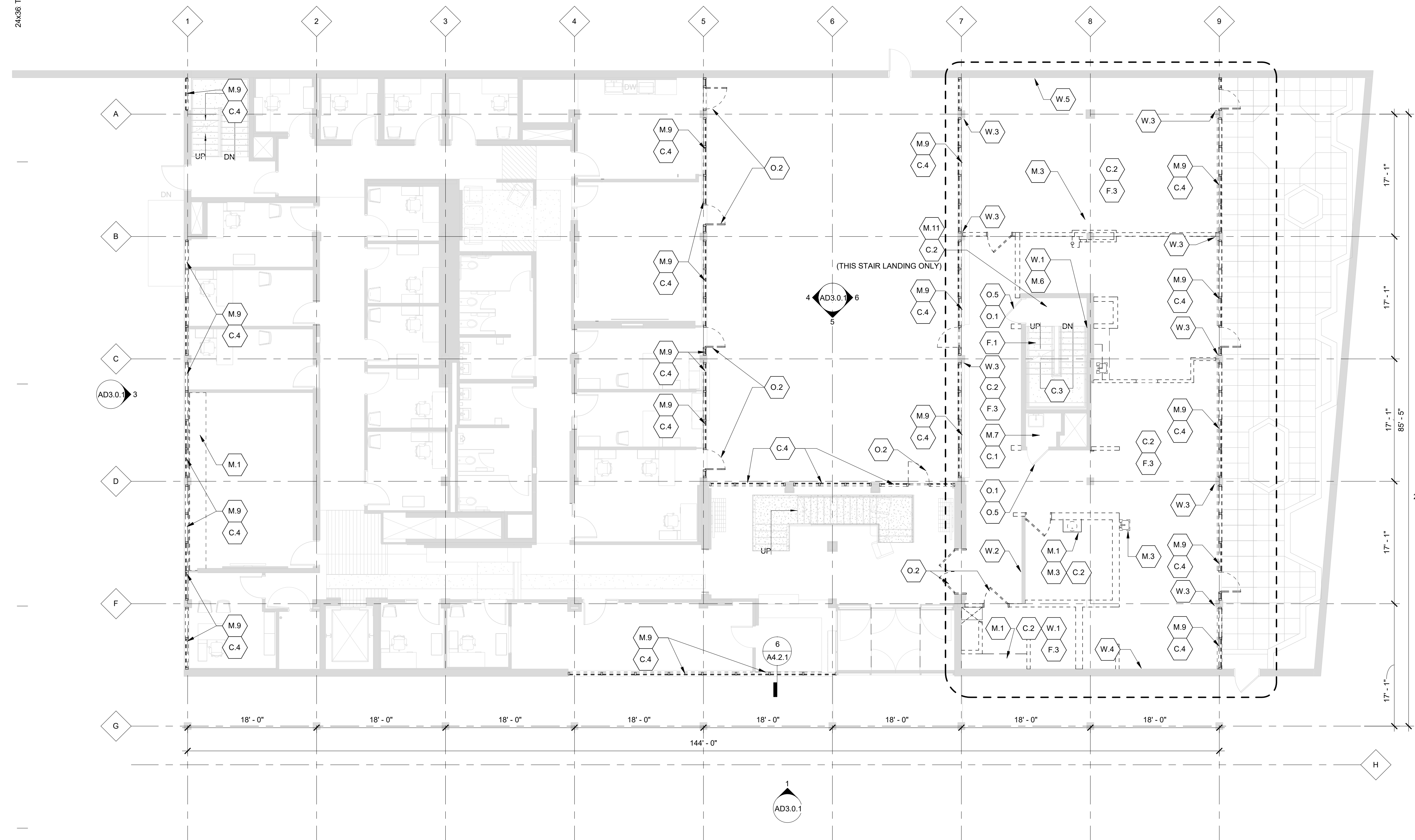
Scale: 1/8" = 1'-0"

Seal:

Signature:

Drawing No:

AD1.0.1



NOTE:
OWNER IS RESPONSIBLE FOR HAZARDOUS MATERIAL
REMEDATION. GC TO COORDINATE HAZARDOUS
MATERIAL REMEDIATION. REFER TO HAZARDOUS
MATERIAL REPORT FROM OWNER.

DEMOLITION GENERAL NOTES

1. CONTRACTOR SHALL PROVIDE DEMOLITION AS REQUIRED FOR NEW CONSTRUCTION. REFER TO CONTRACT DOCUMENTS FOR EXTENT OF NEW WORK.
2. CONTRACTOR SHALL VISIT SITE TO VERIFY ACTUAL EXTENT OF DEMOLITION PRIOR TO BID. DO NOT RELY SOLELY ON THE DRAWINGS FOR DEMOLITION SCOPE. ALL DEMOLITION REQUIRED TO CARRY OUT THE WORK OF THE CONTRACT SHALL BE PART OF THE CONTRACT. NO ADDITION TO THE CONTRACT AMOUNT WILL BE ALLOWED DUE TO FAILURE TO FIELD VERIFY DEMOLITION SCOPE OR FAILURE TO EXAMINE ALL CONTRACT DOCUMENTS.
3. VERIFY AND INVESTIGATE ALL CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION, NOTIFY ARCHITECT OF DISCREPANCIES. LOCATE AND IDENTIFY SERVICES TO REMAIN IN OPERATION, INCLUDING ALL UTILITY LINES PENETRATING FLOOR, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC.
4. PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE THE PRESENCE OF AND PROTECT ACTIVE TELECOMMUNICATION, DATA & ELECTRICAL LINES AND PIPING WHICH MAY BE DAMAGED BY SUCH CUTTING.
5. COORDINATE DEMOLITION WITH OWNER'S REQUIREMENTS AND OTHER CONTRACTORS RETAINED BY THE OWNER.
6. CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS. COORDINATE WORK HOURS WITH OWNER PRIOR TO PROCEEDING WITH THE WORK.
7. CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY AND SAFETY OF THE BUILDING THROUGH DEMOLITION & CONSTRUCTION.
8. SCHEDULE ALL DEMOLITION AND CONSTRUCTION WORK WITH DESIGNATED OWNER'S REPRESENTATIVE TO MINIMIZE DISRUPTION OF BUILDING ACTIVITIES.
9. FOLLOW REQUIREMENTS IN SMACNA IAQ GUIDELINES FOR OCCUPIED BUILDING UNDER CONSTRUCTION 1995 CHAPTERS 2 & 3 AS WELL AS ANY OTHER APPLICABLE ENVIRONMENTAL REQUIREMENTS.
10. CONTRACTOR IS TO PROVIDE COMPLETE DUST PROOF ENCLOSURE IN ALL AREAS WHERE DEMOLITION IS TO OCCUR. COMPLY WITH ALL OSHA, NFPA AND OTHER APPLICABLE RULES AND REGULATIONS REGARDING DUST AND DEBRIS REMOVAL.
11. UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING CONSTRUCTION TO REMAIN IS NOT DAMAGED. REPAIR OR REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES.
12. PROVIDE CONSTRUCTION WASTE MANAGEMENT PLAN PRIOR TO THE START OF DEMOLITION. TARGET 50% RECYCLING OF CONSTRUCTION WASTE.
13. REMOVE AND REINSTALL ITEMS TO BE SALVAGED WHERE INDICATED AND WHERE ADVISED BY OWNER.
14. INVENTORY AND PHOTOGRAPH SALVAGED ITEMS: LIST SHALL INCLUDE DESCRIPTION OF ITEM, DIMENSIONS (OVERALL WIDTH, HEIGHT, DEPTH), COLOR, APPROX. WEIGHT AND PHOTO.
15. CONTRACTOR SHALL PROTECT ALL STRUCTURAL ELEMENTS FROM DAMAGE DURING CONSTRUCTION.
16. PROTECT EXISTING EXTERIOR DOORS, WINDOWS, GLAZING, AND FRAMES.
17. PROTECT EXISTING INTERIOR DOORS, WINDOWS, GLAZING, AND FRAMES, THAT ARE TO REMAIN (TYP.)
18. REFER TO SPECIFICATIONS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
19. ALL SURFACES THAT ARE TO REMAIN ARE TO BE CLEANED W/ WATER & DETERGENT PRIOR TO INSTALLATION OF NEW FINISHES
20. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.
21. WHEN REMOVING MECHANICAL, ELECTRICAL AND PLUMBING ITEMS, REMOVE ALL ASSOCIATED FASTENERS, CABLE, RODS, ETC.
22. DO NOT PROCEED WITH NEW FLOOR OPENINGS OR WALL OPENINGS UNTIL NEW SUPPORT STRUCTURE IS IN PLACE, SEE STRUCTURAL DETAILS (SHEET A4.1.1).

HamiltonAnderson
architecture landscape architecture urban design

Hamilton Anderson Associates, Inc
1435 Randolph Suite 200
Detroit, Michigan 48226
p 313 964 0270 f 313 964 0170
www.hamilton-anderson.com

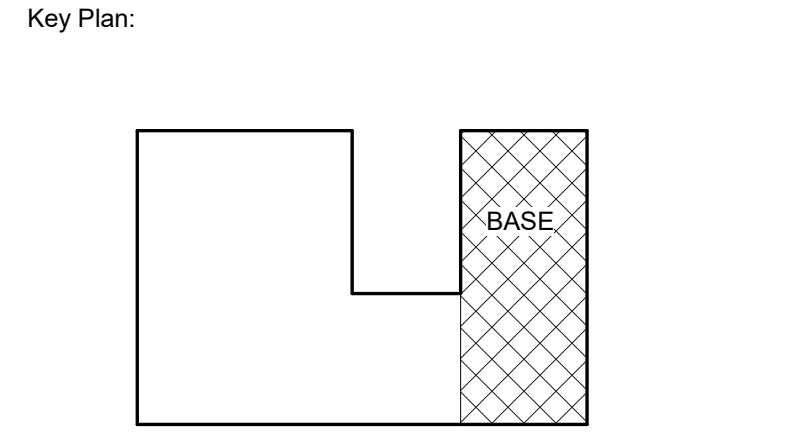
MEP Engineer Peter Basso Associates
5145 Livernois
Troy, MI 48068
248.879.5666

Structural Engineer Desai/Nasr Consulting Engineer
6765 Daly Rd
West Bloomfield, MI 48322
248.932.2010

WAYNE STATE
UNIVERSITY

Client
WAYNE STATE UNIVERSITY
FP&M

5454 Cass Avenue
Detroit, Michigan



ASBESTOS ABATEMENT SERVICES
WSU PROJECT # 063-301464
Issued: June 20, 2019
Issued for Reference Only

Project
SCHOOL OF SOCIAL
WORK - PHASE 2
5447 Woodward, Detroit, MI

Drawing Title
FIRST LEVEL
DEMOLITION PLAN

Project Number: 2013088.22 WSU Project No: 063-301464

Drawn By: HMI/JAM Approved By: RH

Scale: 1/8" = 1'-0"

Seal:

Signature: _____

Drawing No: _____

Issued for Reference Only

AD1.1.1

DEMOLITION SCOPE

CEILINGS:

- C.1 WHERE CEILING IS INDICATED TO REMAIN: REMOVE ALL CEILING MOUNTED EQUIPMENT. REMOVE DUST, DIRT AND DEBRIS. REMOVE ALL LOOSE AND PEELING PAINT.
- C.2 REMOVE ALL CEILINGS, SOFFITS, AND SUPPORT SYSTEMS UNLESS OTHERWISE INDICATED: REMOVE ALL CEILING MOUNTED EQUIPMENT, RAILS, LIGHTS, GRILLES, PANELS, TILES, FRAMING AND SUSPENSION SYSTEMS. REMOVE ALL ORIGINAL PLASTER AND LATH CEILINGS TO EXPOSE CONCRETE STRUCTURE.
- C.3 PLASTER CEILINGS IN STAIRWELLS AND LANDINGS TO REMAIN. U.N.O. REMOVE DUST, DIRT AND DEBRIS. REMOVE ALL LOOSE AND PEELING PAINT FROM PLASTER OR GYP BOARD.
- C.4 REMOVE CEILING, BLOCKING AND WINDOW TREATMENT REQUIRED FOR EXTERIOR WINDOW REPLACEMENT. WINDOW TREATMENT TO BE REMOVED AND NUMBERED FOR REINSTALLATION.

WALLS:

- W.1 WHERE COLUMNS AND EXISTING PLASTER, GYP BOARD, CMU OR CONCRETE WALLS ARE TO REMAIN: REMOVE ALL LOOSE AND PEELING PAINT.
- W.2 FEATURE WALL TO REMAIN.
- W.3 REMOVE EXISTING TILE, GROUT, AND PLASTER FROM WALLS AND COLUMNS
- W.4 REMOVE EXISTING WALL PANELS AND FASTENERS.
- W.5 EXISTING BRICK WALL TO REMAIN. REMOVE ANY ITEMS AFFIXED TO WALL

FLOORS:

- F.1 EXISTING VINYL/RESILIENT OR LINOLEUM TILE OR TERRAZZO INDICATED TO REMAIN: REMOVE ALL DEBRIS, DUST AND DIRT.
- F.2 REMOVE ALL EXISTING CERAMIC OR CLAY TILE FLOORS AND BASE DOWN TO STRUCTURAL SLAB.
- F.3 REMOVE EXISTING WALL BASE, AND REMOVE FLOOR FINISH DOWN TO STRUCTURAL SLAB.
- F.4 REMOVE ALL CARPET, WALL BASE AND ADHESIVE DOWN TO STRUCTURAL SLAB.

OPENINGS:

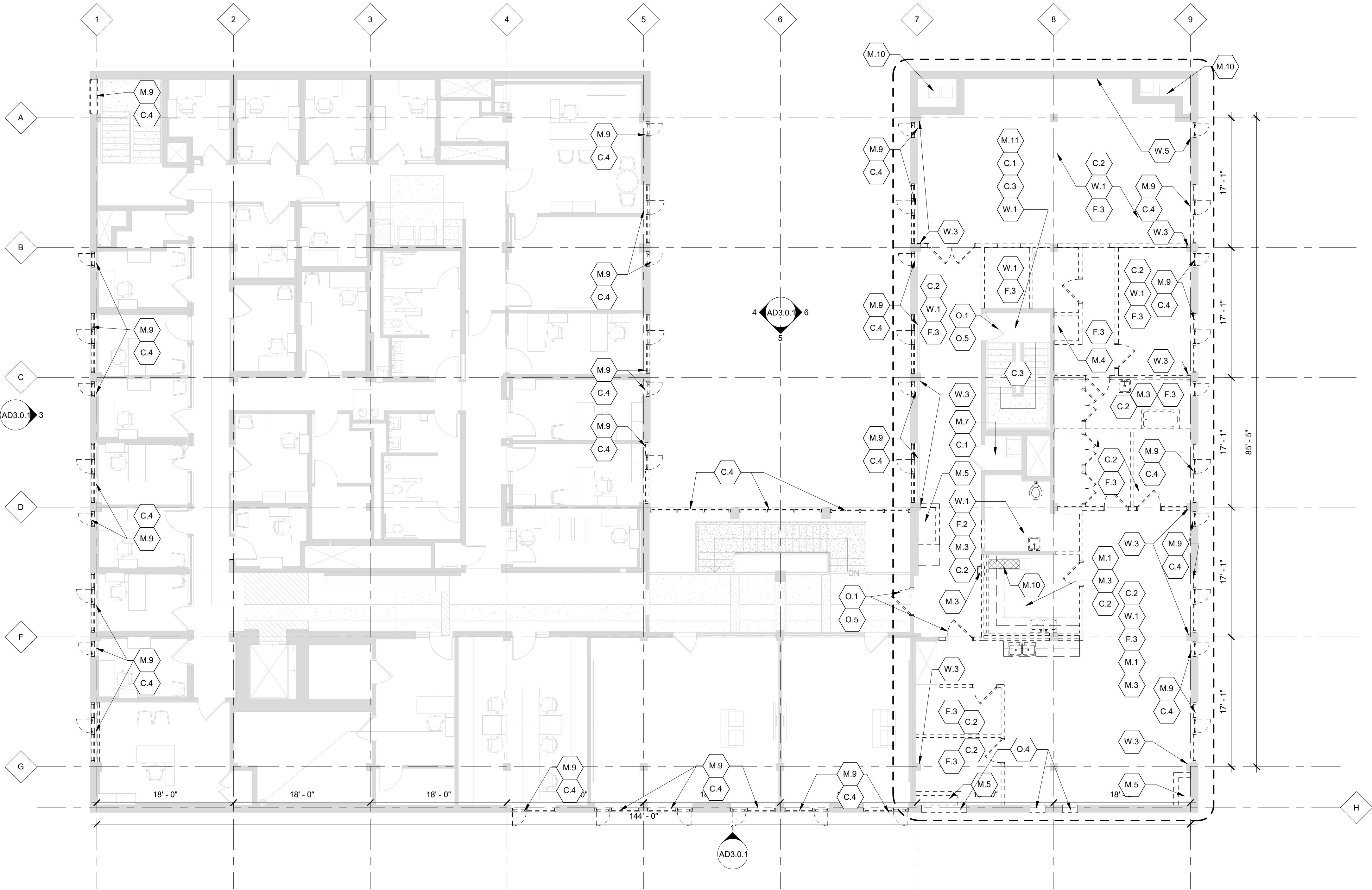
- O.1 WHERE EXISTING PAINTED AND FRAMED DOORS ARE TO REMAIN: REMOVE ALL LOOSE AND PEELING PAINT. REMOVE HARDWARE FOR REPLACEMENT WHERE INDICATED IN THE DOOR SCHEDULE.
- O.2 REMOVE DOOR, HARDWARE AND FRAME IN ITS ENTIRETY. REMOVE SIDELIGHTS & TRANSOMS WHERE APPLICABLE.
- O.3 NOT USED
- O.4 REMOVE INDICATED EXTERIOR WALL FOR INSTALLATION OF NEW LINTEL & FRAME. SEE STOREFRONT SCHEDULE ON SHEET A3.1.1 AND DETAILS ON SHEET A4.2.1.
- O.5 EXISTING STAINED DOORS ARE TO BE REMOVED & NUMBERED FOR REINSTALLATION OR RELOCATION. REMOVE HARDWARE FOR REPLACEMENT WHERE INDICATED.
- O.6 REMOVE INDICATED PORTION OF THE PARTITION FOR INSTALLATION OF NEW LINTEL AND FRAME; SEE DOOR SCHEDULE SHEET A7.1.1 FOR DOOR SIZES AND SHEET A4.1.1 FOR NEW LINTEL.

MISC.:

- M.1 ALL CABINETRY AND MILLWORK IS TO BE REMOVED IN ITS ENTIRETY.
- M.2 REMOVE PLUMBING, KITCHEN EQUIPMENT, CABINETS AND COUNTER TOPS COMPLETE
- M.3 ALL SINKS, DRINKING FOUNTAINS, TOILETS, LAVATORIES, URINALS, TUB/SHOWERS AND WALL-MOUNTED TOILET ROOM ACCESSORIES ARE TO BE REMOVED UNLESS SPECIFICALLY NOTED TO BE SALVAGED. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
- M.4 REMOVE DUMBWAITER AND SHAFT
- M.5 REMOVE MECHANICAL SHAFT; FILL HOLES IN CONCRETE SLAB ABOVE &/OR BELOW; SEE SHEET A4.1.1
- M.6 REMOVE LOWER WOOD HANDRAILS. TOP RAIL TO REMAIN
- M.7 EXISTING JANITOR'S CLOSET TO REMAIN INCLUDING FINISHES AND PLUMBING FIXTURES
- M.8 REMOVE FIRE EXTINGUISHER EQUIPMENT
- M.9 REMOVE WINDOW SILLS AS REQUIRED FOR WINDOW REPLACEMENT
- M.10 NEW FLOOR PENETRATION. COORDINATE WITH MECHANICAL. PENETRATIONS NOT TO INTERFERE WITH CONCRETE WEB JOISTS- REFER TO STRUCTURAL DETAILS (SHEET A4.1.1).
- M.11 EXISTING STAIR SIGANCE TO BE REMOVED AND NUMBERED FOR REINSTALLATION.

DEMOLITION LEGEND

- == == REMOVE WALL COMPLETE
- EXISTING STUD & GYP/PLASTER CONSTRUCTION TO REMAIN, U.N.O.
- REMOVE DOOR, FRAME, AND HARDWARE COMPLETE
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING TERRAZZO STAIR / LANDING
- AREA OF WORK (BASE PROJECT)



SECOND FLOOR DEMOLITION PLAN

1/8" = 1'-0"



DEMOLITION SCOPE

CEILING:

- C.1 WHERE CEILING IS INDICATED TO REMAIN: REMOVE ALL CEILING MOUNTED EQUIPMENT. REMOVE DUST, DIRT AND DEBRIS. REMOVE ALL LOOSE AND PEELING PAINT.
- C.2 REMOVE ALL CEILINGS, SOFFITS, AND SUPPORT SYSTEMS UNLESS OTHERWISE INDICATED: REMOVE ALL CEILING MOUNTED EQUIPMENT, RAILS, LIGHTS, GRILLES, PANELS, TILES, FRAMING AND SUSPENSION SYSTEMS. REMOVE ALL ORIGINAL PLASTER AND LATH CEILINGS TO EXPOSE CONCRETE STRUCTURE.
- C.3 PLASTER CEILINGS IN STAIRWELLS AND LANDINGS TO REMAIN. U.N.O. REMOVE DUST, DIRT AND DEBRIS. REMOVE ALL LOOSE AND PEELING PAINT FROM PLASTER OR GYP BOARD.
- C.4 REMOVE CEILING, BLOCKING AND WINDOW TREATMENT REQUIRED FOR EXTERIOR WINDOW REPLACEMENT. WINDOW TREATMENT TO BE REMOVED AND NUMBERED FOR REINSTALLATION.
- WALLS:
- W.1 WHERE COLUMNS AND EXISTING PLASTER, GYP BOARD, CMU OR CONCRETE WALLS ARE TO REMAIN: REMOVE ALL LOOSE AND PEELING PAINT.
- W.2 FEATURE WALL TO REMAIN.
- W.3 REMOVE EXISTING TILE, GROUT, AND PLASTER FROM WALLS AND COLUMNS
- W.4 REMOVE EXISTING WALL PANELS AND FASTENERS.
- W.5 EXISTING BRICK WALL TO REMAIN. REMOVE ANY ITEMS AFFIXED TO WALL

FLOORS:

- F.1 EXISTING VINYL/RESILIENT OR LINOLEUM TILE OR TERRAZZO INDICATED TO REMAIN: REMOVE ALL DEBRIS, DUST AND DIRT.
- F.2 REMOVE ALL EXISTING CERAMIC OR CLAY TILE FLOORS AND BASE DOWN TO STRUCTURAL SLAB.
- F.3 REMOVE EXISTING WALL BASE, AND REMOVE FLOOR FINISH DOWN TO STRUCTURAL SLAB.
- F.4 REMOVE ALL CARPET, WALL BASE AND ADHESIVE DOWN TO STRUCTURAL SLAB.
- OPENINGS:
- O.1 WHERE EXISTING PAINTED AND FRAMED DOORS ARE TO REMAIN: REMOVE ALL LOOSE AND PEELING PAINT. REMOVE HARDWARE FOR REPLACEMENT WHERE INDICATED IN THE DOOR SCHEDULE.
- O.2 REMOVE DOOR, HARDWARE AND FRAME IN ITS ENTIRETY. REMOVE SIDELIGHTS & TRANSOMS WHERE APPLICABLE.
- O.3 NOT USED
- O.4 REMOVE INDICATED EXTERIOR WALL FOR INSTALLATION OF NEW LINTEL & FRAME. SEE STOREFRONT SCHEDULE ON SHEET A3.1.1 AND DETAILS ON SHEET A4.2.1.
- O.5 EXISTING STAINED DOORS ARE TO BE REMOVED & NUMBERED FOR REINSTALLATION OR RELOCATION. REMOVE HARDWARE FOR REPLACEMENT WHERE INDICATED.
- O.6 REMOVE INDICATED PORTION OF THE PARTITION FOR INSTALLATION OF NEW LINTEL AND FRAME; SEE DOOR SCHEDULE SHEET A7.1.1 FOR DOOR SIZES AND SHEET A4.1.1 FOR NEW LINTEL.

MISC.:

- M.1 ALL CABINETRY AND MILLWORK IS TO BE REMOVED IN ITS ENTIRETY.
- M.2 REMOVE PLUMBING, KITCHEN EQUIPMENT, CABINETS AND COUNTER TOPS COMPLETE
- M.3 ALL SINKS, DRINKING FOUNTAINS, TOILETS, LAVATORIES, URINALS, TUB/SHOWERS AND WALL MOUNTED TOILET ROOM ACCESSORIES ARE TO BE REMOVED UNLESS SPECIFICALLY NOTED TO BE SALVAGED. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
- M.4 REMOVE DUMBWAITER AND SHAFT
- M.5 REMOVE MECHANICAL SHAFT; FILL HOLES IN CONCRETE SLAB ABOVE &/OR BELOW; SEE SHEET A4.1.1
- M.6 REMOVE LOWER WOOD HANDRAILS. TOP RAIL TO REMAIN
- M.7 EXISTING JANITOR'S CLOSET TO REMAIN INCLUDING FINISHES AND PLUMBING FIXTURES
- M.8 REMOVE FIRE EXTINGUISHER EQUIPMENT
- M.9 REMOVE WINDOW SILLS AS REQUIRED FOR WINDOW REPLACEMENT
- M.10 NEW FLOOR PENETRATION. COORDINATE WITH MECHANICAL. PENETRATIONS NOT TO INTERFERE WITH CONCRETE WEB JOISTS- REFER TO STRUCTURAL DETAILS (SHEET A4.1.1).
- M.11 EXISTING STAIR SIGANGE TO BE REMOVED AND NUMBERED FOR REINSTALLATION.

DEMOLITION LEGEND

- REMOVE WALL COMPLETE
- EXISTING STUD & GYP/PLASTER CONSTRUCTION TO REMAIN. U.N.O.
- REMOVE DOOR, FRAME, AND HARDWARE COMPLETE
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING TERRAZZO STAIR / LANDING
- AREA OF WORK (BASE PROJECT)

NOTE:
OWNER IS RESPONSIBLE FOR HAZARDOUS MATERIAL
REMIEDIATION. GC TO COORDINATE HAZARDOUS
MATERIAL REMEDIATION. REFER TO HAZARDOUS
MATERIAL REPORT FROM OWNER.

DEMOLITION GENERAL NOTES

- CONTRACTOR SHALL PROVIDE DEMOLITION AS REQUIRED FOR NEW CONSTRUCTION. REFER TO CONTRACT DOCUMENTS FOR EXTENT OF NEW WORK.
- CONTRACTOR SHALL VISIT SITE TO VERIFY ACTUAL EXTENT OF DEMOLITION PRIOR TO BID. DO NOT RELY SOLELY ON THE DRAWINGS FOR DEMOLITION SCOPE. ALL DEMOLITION REQUIRED TO CARRY OUT THE WORK OF THE CONTRACT SHALL BE PART OF THE CONTRACT. NO ADDITION TO THE CONTRACT AMOUNT WILL BE ALLOWED DUE TO FAILURE TO FIELD VERIFY DEMOLITION SCOPE OR FAILURE TO EXAMINE ALL CONTRACT DOCUMENTS.
- VERIFY AND INVESTIGATE ALL CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION, NOTIFY ARCHITECT OF DISCREPANCIES. LOCATE AND IDENTIFY SERVICES TO REMAIN IN OPERATION, INCLUDING ALL UTILITY LINES PENETRATING FLOOR, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC.
- PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE THE PRESENCE OF AND PROTECT ACTIVE TELECOMMUNICATION, DATA & ELECTRICAL LINES AND PIPING WHICH MAY BE DAMAGED BY SUCH CUTTING.
- COORDINATE DEMOLITION WITH OWNER'S REQUIREMENTS AND OTHER CONTRACTORS RETAINED BY THE OWNER.
- CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS. COORDINATE WORK HOURS WITH OWNER PRIOR TO PROCEEDING WITH THE WORK
- CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY AND SAFETY OF THE BUILDING THROUGH DEMOLITION & CONSTRUCTION.
- SCHEDULE ALL DEMOLITION AND CONSTRUCTION WORK WITH DESIGNATED OWNER'S REPRESENTATIVE TO MINIMIZE DISRUPTION OF BUILDING ACTIVITIES.
- FOLLOW REQUIREMENTS IN SMACNA IAQ GUIDELINES FOR OCCUPIED BUILDING UNDER CONSTRUCTION 1995 CHAPTERS 2 & 3 AS WELL AS ANY OTHER APPLICABLE ENVIRONMENTAL REQUIREMENTS.
- CONTRACTOR IS TO PROVIDE COMPLETE DUST PROOF ENCLOSURE IN ALL AREAS WHERE DEMOLITION IS TO OCCUR. COMPLY WITH ALL OSHA, NFPA AND OTHER APPLICABLE RULES AND REGULATIONS REGARDING DUST AND DEBRIS REMOVAL.
- UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING CONSTRUCTION TO REMAIN IS NOT DAMAGED. REPAIR OR REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES.
- PROVIDE CONSTRUCTION WASTE MANAGEMENT PLAN PRIOR TO THE START OF DEMOLITION. TARGET 50% RECYCLING OF CONSTRUCTION WASTE.
- REMOVE AND REINSTALL ITEMS TO BE SALVAGED WHERE INDICATED AND WHERE ADVISED BY OWNER.
- INVENTORY AND PHOTOGRAPH SALVAGED ITEMS: LIST SHALL INCLUDE DESCRIPTION OF ITEM, DIMENSIONS (OVERALL WIDTH, HEIGHT, DEPTH), COLOR, APPROX. WEIGHT AND PHOTO.
- CONTRACTOR SHALL PROTECT ALL STRUCTURAL ELEMENTS FROM DAMAGE DURING CONSTRUCTION.
- PROTECT EXISTING EXTERIOR DOORS, WINDOWS, GLAZING, AND FRAMES.
- PROTECT EXISTING INTERIOR DOORS, WINDOWS, GLAZING, AND FRAMES, THAT ARE TO REMAIN (TYP.)
- REFER TO SPECIFICATIONS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- ALL SURFACES THAT ARE TO REMAIN ARE TO BE CLEANED W/ WATER & DETERGENT PRIOR TO INSTALLATION OF NEW FINISHES
- SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.
- WHEN REMOVING MECHANICAL, ELECTRICAL AND PLUMBING ITEMS, REMOVE ALL ASSOCIATED FASTENERS, CABLE, RODS, ETC.
- DO NOT PROCEED WITH NEW FLOOR OPENINGS OR WALL OPENINGS UNTIL NEW SUPPORT STRUCTURE IS IN PLACE. SEE STRUCTURAL DETAILS (SHEET A4.1.1).

HamiltonAnderson
architecture landscape architecture urban design

Hamilton Anderson Associates, Inc
1435 Randolph Suite 200
Detroit, Michigan 48226
p 313 964 0270 f 313 964 0170
www.hamilton-anderson.com

MEP Engineer Peter Basso Associates
5145 Livernois
Troy, MI 48068
248.879.5666

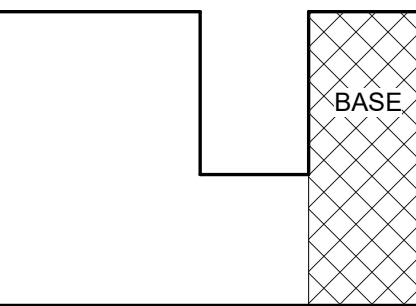
Structural Engineer Desai/Nasr Consulting Engineer
6765 Daly Rd
West Bloomfield, MI 48322
248.932.2010

WAYNE STATE
UNIVERSITY

Client
WAYNE STATE UNIVERSITY
FP&M

5454 Cass Avenue
Detroit, Michigan

Key Plan:



ASBESTOS ABATEMENT SERVICES

WSU PROJECT # 063-301464

Issued: June 20, 2019

Issued for Reference Only

Project
SCHOOL OF SOCIAL
WORK - PHASE 2
5447 Woodward, Detroit, MI

Drawing Title
SECOND LEVEL
DEMOLITION PLAN

Project Number: 2013088.22 WSU Project No: 063-301464

Drawn By: HMI/JAM Approved By: RH

Scale: 1/8" = 1'-0"

Seal:

Signature:

Drawing No:

AD1.2.1

Issued for Reference Only