

WAYNE STATE UNIVERSITY

400 MACK AVENUE - PARKING LOT

DETROIT, MI 48033



LOCATION MAP

NOT TO SCALE

LEGAL DESCRIPTION

SOURCE: ASK SERVICES TITLE COMMITMENT
REFERENCE No.: 27878492 EFFECTIVE DATE: 11-20-2024
OWNER: SEE PARCEL DESCRIPTIONS BELOW
ADDRESS: 400 MACK AVENUE

TAX PARCEL No: 01000867 - CITY OF DETROIT (P&D, CARE OF DBA)
N ELIOT 53 MILLER & WILLCOX U P219 PLATS, W C R 1/50 35 X 95

TAX PARCEL No: 01000868 - CITY OF DETROIT (P&D, CARE OF DBA)
N ELIOT 54 MILLER & WILLCOX U P219 PLATS, W C R 1/50 35 X 95

TAX PARCEL No: 01000869 - CITY OF DETROIT (P&D, CARE OF DBA)
N ELIOT 55 MILLER & WILLCOX U P219 PLATS, W C R 1/50 35 X 95

TAX PARCEL No: 01003830-6 - WAYNE STATE UNIVERSITY
N BRUSH BLK J 2 BLK K 1&2 BLK L 1&2 AND VAC BENTON & ELIOT STS 50 FT WD & S 36 FT VAC MACK ADJ ALSO N 10 FT VAC
ALLEY BLK J AND VAC ALLEYS BLKS K & L ADJ BRUSH SUB OF PT PARK LOTS 17-21 L8 P12 PLATS W C R 1/48 29 THRU 46 S1&2
AND VAC BENTON ST 50 FT WD & S 25 FT VAC ELIOT ST ADJ ALSO VAC ALLEYS ADJ MILLER & WILLCOX SUB U P86 PLATS W C R
1/44 53 THRU 55 AND N 25 FT VAC ELIOT ST ADJ ALSO S 10 FT VAC ALLEY ADJ MILLER & WILLCOX SUB U P219 PLATS W C R 1/50
1/44 165,012 SQ FT

CIVIL SHEET INDEX

C1.0 - COVER SHEET
C2.1 - TOPOGRAPHIC SURVEY
C3.1 - DEMOLITION PLAN
C4.1 - PAVING AND LAYOUT PLAN
C4.2 - DETAILS
C5.1 - GRADING PLAN
C6.1 - SOIL EROSION AND SEDIMENTATION CONTROL PLAN

OWNER

WAYNE STATE UNIVERSITY
42 WEST WARREN AVENUE
DETROIT, MI 48202
PHONE: (313) 577-2424



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400 MACK AVENUE PARKING LOT

DETROIT, MICHIGAN

COVER SHEET

SECTION .
TOWN . NORTH RANGE . EAST
CITY OF DETROIT
WAYNE COUNTY, MICHIGAN

NO.	DATE	REVISION
1	03/20/2025	DESIGN DEVELOPMENT
2	04/16/2025	OWNER REVIEW
3	06/25/2025	BIDS

VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING

IF NOT ONE INCH ON THIS SHEET,
ADJUST SCALES ACCORDINGLY

DRAMTER D. KATTOUAH	DATE 02-03-25
DESIGNER	DATE
CHECKED T. SOVEL	DATE
PROJECT MANAGER T. SOVEL	BID PLAN DATE
DEPARTMENT MANAGER APPROVAL T. SOVEL	DATE
JOB NO. NP24150	DRAWING NO. NP24150GEN
SCALE: 1" = 30'	SHEET NO. C1.0

Plotted: Jun 23, 2025, 7:3 AM by user: 1150 - Saved: 4/14/2025 by user: 1150
N:\NP\NID Projects\NP24150 - Wayne State University - 400 Mack Parking Lot\N



#	TYPE	RIM	SIZE	INVERT	DIRECTION	CONNECT
	FLOW DIRECTION:				SOUTH	
10	SQUARE CATCH BASIN	620.63	6"	618.03	EAST	
	TOP / WATER	616.23				
	TOP / DEBRIS	615.73				
11	SANITARY MANHOLE	621.97	10"	615.76	SW	
			12"	613.42	NORTH	15
			15"	611.37	EAST	18
	TOP / WATER	611.67				
12	SQUARE CATCH BASIN	620.67				
	NO VISIBILITY					
13	GAS MANHOLE	621.44				
14	GAS MANHOLE	621.37				
15	SANITARY MANHOLE	621.20	12"	614.60	SOUTH	11
			10"	614.60	WEST	
			10"	614.60	EAST	
			10"	614.60	NORTH	9
	FLOW DIRECTION:				SOUTH	
16	UTILITY MANHOLE	621.25				
	NO VISIBILITY					
17	GAS MANHOLE	622.47				
18	SANITARY MANHOLE	620.46	15"	610.16	WEST	11
			18"	608.66	EAST	
	FLOW DIRECTION:				EAST	
19	SQUARE CATCH BASIN	619.59				
	TOP / WATER	613.89				
	TOP / DEBRIS	611.69				

[illegible]

THE STRUCTURE TABLE ON THIS DRAWING IDENTIFIES THE AS-SURVEYED UNDERGROUND UTILITY MANHOLES THAT WERE FIELD MEASURED USING REASONABLE AND TRADITIONAL SURVEYING PRACTICES. PIPE SIZES DIRECTIONS AND ELEVATIONS ARE INDICATED BY A COMBINATION OF FIELD EVIDENCE AND AVAILABLE RECORD INFORMATION. UNDERGROUND UTILITY PIPE SIZES AND CONNECTIONS ARE MANY TIMES AMBIGUOUS. SOME STRUCTURES MAY HAVE PIPES WITH UNKNOWN DIRECTION. THE DRAWING IS NOT TO BE FILLED IN. REPAIRS WILL BE LEFT TO THE DESIGN ENGINEER TO LOOK AT THE PRESENTED SURVEY RESULTS AND DECIDE IF FURTHER INVESTIGATION BY OTHER METHODS SUCH AS VACUUM CLEAN OUT, UNDERGROUND RADAR, SMOKE TESTING AND PHYSICAL EXCAVATION IS REQUIRED AS AN ADDITIONAL SERVICE.



UTILITY PROVIDER	CONTACT #	MISS DIG RESULTS	DATE
123.NET, INC. FIBER OPTICS EAST	2484314584	NOT RECEIVED	N/A
A/T & TELEPHONE	6168812268	RECEIVED	12/22/2024
COMCAST CABLE TV	8559628525	RECEIVED	12/19/2024
CROWN CASTLE FIBER OPTICS	7274162799	RECEIVED	12/22/2024
DETROIT CITY WATER & SEWERAGE POTABLE WATER	3136630354	NOT RECEIVED	N/A
"DETROIT CITY WATER & SEWERAGE SEWER (COMBINED SANI/STRM ONLY)"	3136630354	NOT RECEIVED	N/A
DETROIT MEDICAL CENTER FIBER OPTICS	8106109824	NOT RECEIVED	N/A
DETROIT PUBLIC LIGHTING ELECTRIC	3132675130	NOT RECEIVED	N/A
DETROIT THERMAL, LLC STEAM	3136382643	RECEIVED	12/19/2024
DTE ENERGY (ELECTRIC) ELECTRIC	340475364	RECEIVED	12/11/2024
DTE ENERGY (GAS) GAS	2484318739	RECEIVED	12/14/2024
EVERSTREAM FIBER OPTICS	3264678764	RECEIVED	12/22/2024
EXTENET SYSTEMS, INC. [FIBER OPTICS]	6302451904	RECEIVED	12/22/2024
GREAT LAKES WATER AUTHORITY POTABLE WATER	3137990289	RECEIVED	12/22/2024
"GREAT LAKES WATER AUTHORITY SEWER (COMBINED SANI/STRM ONLY)"	3137990289	NOT RECEIVED	N/A
MCIVERZON BUSINESS FIBER OPTICS	8009249675	RECEIVED	12/22/2024
MERIT NETWORK, INC. FIBER OPTICS	7345275729	NOT RECEIVED	N/A
NEXTEL COMMUNICATIONS (FIBER OPTICS)	8163994004	NOT RECEIVED	N/A
WAYNE COUNTY DPS LAND USE	7345656504	NOT RECEIVED	N/A

SOURCE: ASK SERVICES TITLE COMMITMENT
REFERENCE No.: 27976492 EFFECTIVE DATE: 11-20-2024
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TAX PARCEL NO: 01000380 - WAYNE STATE UNIVERSITY
N BRUSH BLK 1/2 BLK C 182 BLK 1 182 AND GAGE BENTON & ELIOT STS
AND GAGE ALLEYS BLKS K & L ADJ BRUSH SUB OF PT PARK LOTS 17-23
50 FT WD & S 25 FT GAGE ELIOT ST ADJ ALSO ADJ ALLEYS ADJ MILLER
GAGE ELIOT ST ADJ ALSO S 10 FT ADJ ALLEY ADJ MILLER & WILCOX

DATUM: GPS-DERIVED NAVD 88

SITE BM#100	CHISELED "*" ON SOUTHEAST BOLT OF TRAFFIC POLE LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF BRUSH AND MACK.	ELEV =+632.26
SITE BM#101	CHISELED "*" ON WEST SIDE OF RIM OF LIGHTING MANHOLE LOCATED ON THE WEST SIDE OF BRUSH STREET IN SIDEWALK.	ELEV =+621.79
SITE BM#102	CHISELED "*" ON EAST SIDE OF CONCRETE LIGHT POLE BASE LOCATED IN THE SOUTH PARKING LOT ±21 FEET SOUTH OF BRICK BUILDING.	ELEV =+623.39

1. THIS TOPOGRAPHICAL MAP IS BASED UPON A FIELD SURVEY PERFORMED BY SPALDING DECKEDER DURING DECEMBER OF 2024.
2. THE PROPERTY LINES/RIGHT-OF-WAY LINES SHOWN ON THIS TOPOGRAPHICAL SURVEY ARE INTERPRETED TO BE AN APPROXIMATE GRAPHICAL REPRESENTATION OF THE PROPERTY LINES, INCLUDING BOUNDARY LINES, RIGHT-OF-WAY LINES AND RIGHT-OF-WAY LINES UPON A COMBINATION OF A PROVIDED LEGAL DESCRIPTION, FOUND FIELD MONUMENTATION AND OCCUPATION. PROPERTY LINES AS SHOWN IN DRAWING ARE BASED UPON THIS WORK. VARIATIONS MAY EXIST BETWEEN THE EXISTING PROPERTY DESCRIPTION AS SHOWN AND THE FIELD LINES SHOWN IN DRAWING. A COMPLETE PROPERTY LINE ANALYSIS IS NOT PART OF THE SCOPE OF SERVICES AND PROPERTY CORNERS HAVE NOT BEEN SET IN THE FIELD PER THE AGREED TO SCOPE OF SERVICES.
3. THIS SURVEY HAS BEEN COMPLETED WITH THE BENEFIT OF A CURRENT INFORMATIONAL TITLE SEARCH WHICH INCLUDES THE LAST DEED OF RECORD AND A 100 YEAR SEARCH FOR ENCUMBRANCES. THE INFORMATIONAL TITLE SEARCH WAS REQUESTED BY ASK SERVICES FOR ENCUMBRANCE NUMBER 17776495 AND THE DATE OF 10/21/2024. ALL SATISFACTORY ENCUMBRANCES LISTED ON SCHEDULE B-EXCEPTIONS OF THIS TITLE SEARCH HAVE BEEN SHOWN ON THIS SURVEY IF THEY FALL WITHIN THE LIMITS OF DETAILED MAPPING.

SPALDING
DEDECKER

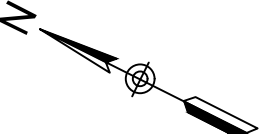
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400 MACK AVENUE
PARKING LOT

DETROIT, MI

TOPOGRAPHICAL SURVEY

SECTION
TOWN RANGE
CITY OF DETROIT
WAYNE COUNTY, MICHIGAN

NO.	DATE	REVISION
1	03/20/2025	DESIGN DEVELOPMENT
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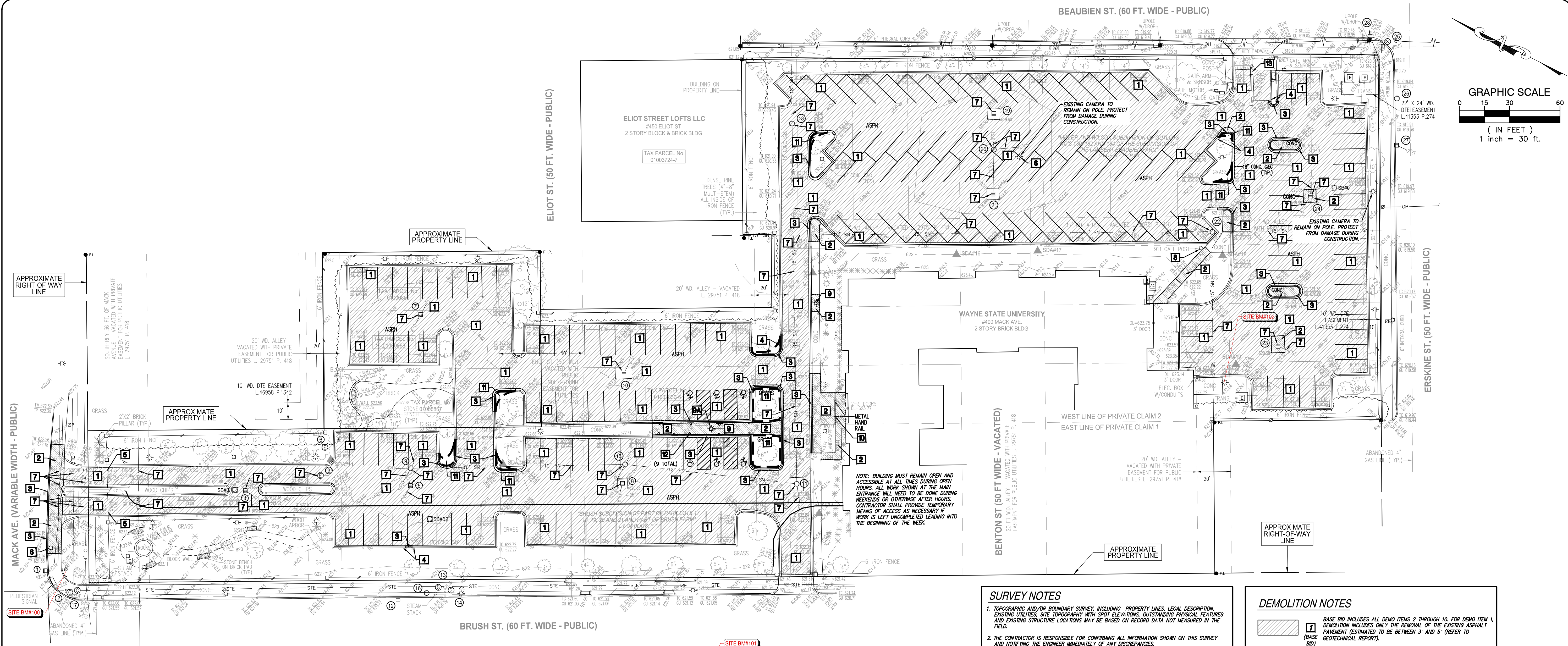
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VERIFY SCALES
BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET,
ADJUST SCALES ACCORDINGLY

DRAFTER F.FUQUA	DATE 01-20-25
CHECKED S.NEUMANN	DATE 01-20-25
FIELD LEADER T.DEERING	PROJECT SURVEYOR S.NEUMANN
PROJECT MANAGER D.JACKSON	DEPARTMENT MANAGER G.PLATZ
JOB NO. NP24150TPG	DRAWING NO. NP24150TPG-NP

$$1'' = 30'$$

C2.1



SURVEY NOTES

1. TOPOGRAPHIC AND/OR BOUNDARY SURVEY, INCLUDING: PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS MAY BE BASED ON RECORD DATA NOT MEASURED IN THE FIELD.
2. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL INFORMATION SHOWN ON THIS SURVEY AND NOTIFYING THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
3. CONTRACTOR SHALL UTILIZE A PRIVATE UTILITY LOCATOR TO STAKE PUBLIC AND PRIVATE UTILITY LOCATIONS PRIOR TO START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY, AT NO COST TO THE PROJECT, TO REPAIR OR REPLACE ANY DAMAGE CAUSED TO EXISTING UTILITIES.
4. CONTRACTOR SHALL CONTACT MISS DIG (811) THREE WORKING DAYS PRIOR TO THE START OF CONSTRUCTION FOR STAKING OF UTILITIES.

NOTE REGARDING CONTAMINATED SOILS

ENVIRONMENTAL TESTING HAS IDENTIFIED CONTAMINATED SOILS WITHIN THE PROJECT AREA. THE CONTRACTOR SHALL BE AWARE THAT CONTAMINATED MATERIALS MAY BE ENCOUNTERED DURING EXCAVATION AND DEMOLITION ACTIVITIES. ALL WORK INVOLVING THE HANDLING, MANAGEMENT, AND DISPOSAL OF CONTAMINATED SOILS MUST BE CONDUCTED IN ACCORDANCE WITH THE DUE CARE PLAN PREPARED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND ADHERING TO THE REQUIREMENTS AND PROCEDURES OUTLINED IN THE DUE CARE PLAN.

THE ENVIRONMENTAL REPORT AND THE DUE CARE PLAN ARE INCLUDED IN THE PROJECT MANUAL.

NOTE: REFER TO PHASING PLAN ON SHEET C4.1

DEMOLITION NOTES

1. BASE BID INCLUDES ALL DEMO ITEMS 2 THROUGH 10. FOR DEMO ITEM 1, DEMOLITION INCLUDES ONLY THE REMOVAL OF THE EXISTING ASPHALT PAVEMENT (ESTIMATED TO BE BETWEEN 7 AND 8) (REFER TO GEOTECHNICAL REPORT).
7. THIS ALTERNATE INCLUDES ITEMS NOTED IN BASE BID, PLUS EXCAVATION AND REMOVAL OF SUFFICIENT BASE AND SUBGRADE MATERIALS TO INSTALL THE FULL PAVEMENT SECTION (INCLUDING NEW 21AA AGGREGATE BASE) INDICATED FOR ALTERNATE C-1 ON SHEET C-1. WORK SHALL ALSO INCLUDE IMPACT WITH CONTAMINATED SOILS, DISPOSAL OF THOSE SOILS, AND FOLLOWING THE REQUIREMENTS OUTLINED IN THE DUE CARE PLAN.
7. THIS ALTERNATE INCLUDES ITEMS NOTED IN BASE BID, PLUS EXCAVATION AND REMOVAL OF SUFFICIENT BASE AND SUBGRADE MATERIALS TO INSTALL THE FULL PAVEMENT SECTION (INCLUDING NEW 21AA AGGREGATE BASE) AND THE SAND SUBBASE INDICATED FOR ALTERNATE C-2 ON SHEET C-1. WORK SHALL ALSO INCLUDE IMPACT WITH CONTAMINATED SOILS, DISPOSAL OF THOSE SOILS, AND FOLLOWING THE REQUIREMENTS OUTLINED IN THE DUE CARE PLAN. THE COST INDICATED FOR THE ALTERNATE C-2 DEMOLITION SHALL BE THE ADDITIONAL COST OVER AND ABOVE THE BASE BID COST.
2. REMOVE CONCRETE PAVEMENT TO FULL DEPTH. SAWCUT FULL DEPTH TO NEAREST JOINT WHERE NEW PAVEMENT WILL BE PLACED ADJACENT TO EXISTING PAVEMENT.
3. REMOVE CONCRETE CURB AND GUTTER, SAWCUT FULL DEPTH TO NEAREST JOINT, WHERE SHOWN. REMOVAL LIMITS TO BE FIELD VERIFIED BY ENGINEER.
4. PROTECT EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
6. REMOVE EXISTING CHAIN LINK FENCE, INCLUDING ALL GATES, POSTS, AND FOOTINGS.
6. PROTECT EXISTING LIGHT POLE.
7. PROTECT EXISTING UTILITIES AND UTILITY STRUCTURES TO REMAIN.
8. PROTECT 911 CALL POST.
9. REMOVE AND SALVAGE EXISTING LIGHT POLE FOR RELOCATING TO NEW BASE. REMOVE EXISTING BASE AND EXTEND POWER TO NEW POLE LOCATION.
24. EXISTING CAMERA IS TO BE RELOCATED TO NEW POLE AND WIRED ACCORDINGLY. POINT-TO-POINT WIRELESS BRIDGE WILL BE RELOCATED TO THE BUILDING BY OTHERS PRIOR TO DEMO OPERATIONS. ANY ASSOCIATED PIPING LEFT IN PLACE CAN BE DEMOLISHED. CONTRACTOR SHALL CONFIRM THAT THE WIRELESS EQUIPMENT HAS BEEN REMOVED PRIOR TO TAKING DOWN THE POLE. EXISTING DATA LINES CAN BE PULLED BACK AND REROUTED TO THE NEW POLE LOCATION. PLEASE WORK WITH C&T CAMERA TEAM (FRANK PAPP) BEFORE DISCONNECTING CAMERA. CAMERA TO BE STORED AT C&T DURING CONSTRUCTION.
10. REMOVE EXISTING HAND RAILS.
7. CLEAR AND GRUB TO THE LIMITS SHOWN. INCLUDE REMOVAL OF ALL SIGNS, POSTS, FOOTINGS, GRAVEL, BRUSH, SHRUBS, GRASS, AND TREES NOT INDICATED FOR PROTECTION, INCLUDING ROOTS. STRIP TOPSOIL AND STOCKPILE ON SITE IN DESIGNATED LOCATION.
12. REMOVE AND DISPOSE OF EXISTING SIGN, INCLUDING POST AND ANY FOOTING IF PRESENT.
8. REPAIR MOTORIZED FENCE AND THE CARD READER.

ALL DEPRESSIONS CREATED BY DEMOLITION PROCEDURES SHALL BE BACKFILLED WITH CLASS 4 FILL MATERIAL, IN 6" LIFTS COMPACTED TO 95% OF MAXIMUM UNIT WEIGHT, UP TO PROPOSED SUBGRADE.

CONTRACTOR IS RESPONSIBLE FOR DOING AN EARTHWORK CALCULATION FOR CUT AND FILL REQUIREMENTS, AND IS RESPONSIBLE FOR INCLUDING IMPORT AND EXPORT OF MATERIALS IN THEIR BID. ALL EXCESS MATERIAL (INCLUDING TOPSOIL, CLEAN FILL, AND WASTE MATERIAL) SHALL BE REMOVED FROM THE SITE.

CONTRACTOR TO PROTECT EXISTING WALKS, PAVEMENT, CURBS, GUTTERS, WALLS, FENCES, GATES, LANDSCAPING AND TREES TO REMAIN DURING CONSTRUCTION.

CONTRACTOR TO PROVIDE UNIT PRICES (1/CY) IN THE BID DOCUMENTS FOR UNDERLUT AND REPLACEMENT OF POOR SOILS. UNIT PRICE TO INCLUDE DISPOSAL OF POOR SOILS AND IMPORT AND PLACEMENT OF 1 1/2" CRUSHED CONCRETE OR 21AA CRUSHED CONCRETE, WITH GEOTEXTILE FABRIC, UP TO PROPOSED SUBGRADE.

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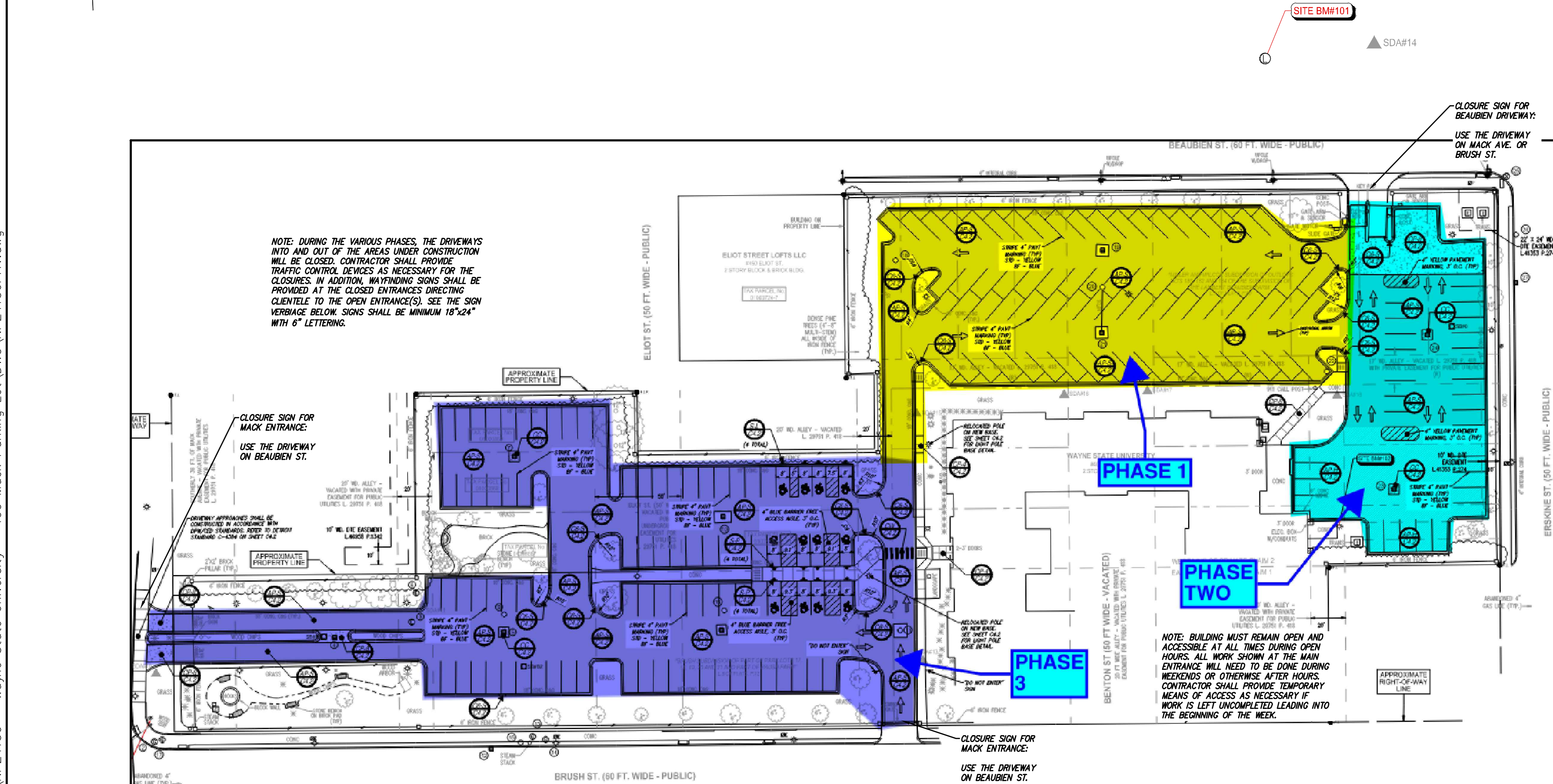
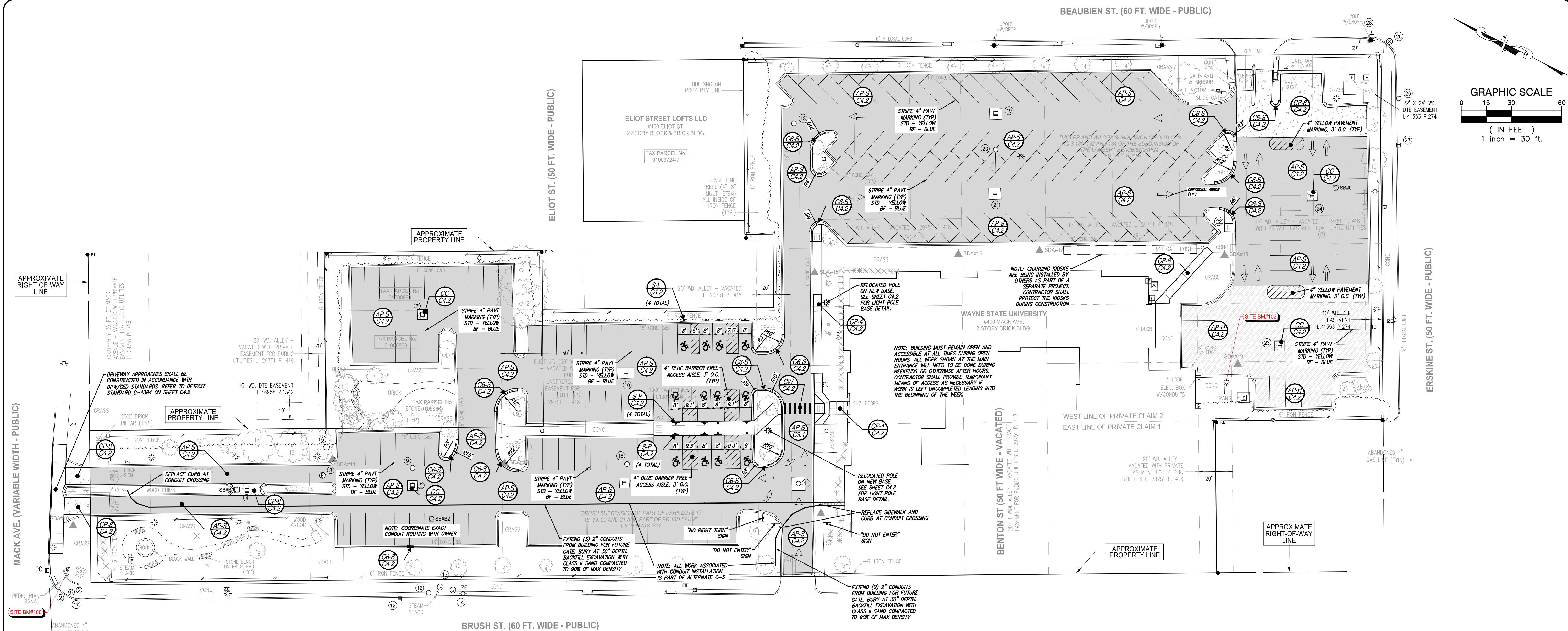
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400 MACK AVENUE PARKING LOT

DETROIT, MICHIGAN

DEMOLITION PLAN

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WAYNE COUNTY, MICHIGAN		
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DRAWN BY	D. KATTQUAH	DATE 02-03-25
DESIGNER	T. SOVEL	DATE
CHECKED	T. SOVEL	DATE
PROJECT MANAGER	T. SOVEL	BID PLAN DATE
DEPARTMENT MANAGER APPROVAL	T. SOVEL	DATE
JOB NO.	NP24150	DRAWING NO. NP24150DEM
SCALE:	1" = 30'	SHEET NO. C3.1



PHASING PLAN

PAVING CONSTRUCTION NOTES

- EARTHWORK AND PAVEMENT CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT MDT STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE FOLLOWING ITEMS.
- REMOVE ANY EXISTING TOPSOIL, VEGETATION, TREES AND OTHER DELETERIOUS MATERIALS TO EXPOSE THE SUBGRADE SOIL. TREE ROOTS SHALL BE COMPLETELY REMOVED.
- EXCAVATE TO THE DEPTH OF THE FINAL SUBGRADE ELEVATION TO ALLOW FOR GRADE CHANGES AND THE PLACEMENT OF THE RECOMMENDED PAVEMENT SYSTEM.
- THE TOP 12 INCHES OF THE EXPOSED SUBGRADE SHALL BE COMPACTED TO A DENSITY NO LESS THAN 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D 1557-91).
- THE FINAL SUBGRADE SHALL BE THOROUGHLY PROOFOILED UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR HEAVING AREAS WHICH CANNOT BE MECHANICALLY STABILIZED SHALL BE REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
- THE AGGREGATE BASE SHALL BE COMPACTED TO A DENSITY NO LESS THAN 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D 1557-91). THE BASE SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND THE PAVED EDGE.
- ALL BITUMINOUS MATERIAL SHALL BE COMPACTED TO A DENSITY NO LESS THAN 97 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MARSHALL METHOD.
- A BOND COAT OF SS-1H EMULSION IS REQUIRED BETWEEN THE LEVELING COURSE AND THE WEARING COURSE WHEN EITHER 24 HOURS HAVE ELAPSED BETWEEN PLACEMENT OF THE BITUMINOUS COURSES OR THE SURFACE OF THE PAVEMENT HAS BEEN CONTAMINATED WITH DIRT, DUST, OR FOREIGN MATERIAL. THE BOND COAT SHALL BE APPLIED IN A UNIFORM MANNER OVER THE SURFACE AT A RATE OF 0.1 GALLONS/S.Y. IN THE EVENT A BOND COAT IS NOT REQUIRED, THE LEVELING COURSE MAY REQUIRE LOCALIZED BROOM CLEANING.
- PERFORMANCE GRADE PG64-22 ASPHALT CEMENT SHALL BE USED IN THE PRODUCTION OF ALL BITUMINOUS MIXTURES. RECLAIMED ASPHALT PAVEMENT (RAP) SHALL BE ALLOWED ONLY AS SPECIFIED BY THE CURRENT MDT STANDARD SPECIFICATIONS FOR CONSTRUCTION, UNLESS NOTED ON THE PROJECT DETAILS.
- CONSTRUCTION TRAFFIC SHALL BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE PLACEMENT OF THE FINAL LIFT SHALL BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURE, IF ANY DOES OCCUR, AS WELL AS REDUCE LOAD DAMAGE ON THE PAVEMENT SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR TO ANY DAMAGED SECTION RESULTING FROM CONSTRUCTION ACTIVITY.
- CONTRACTOR SHALL PROTECT EXISTING CURB, GUTTER, SIDEWALK, WALLS, FENCES AND ALL OTHER EXISTING SITE FEATURES NOT INDICATED FOR REMOVAL OR REHABILITATION.
- PLACE EXPANSION JOINTS WHERE NEW CONCRETE PAVEMENT OR WALKS ABUT BUILDING WALLS (PROPOSED OR EXISTING), COLUMN WALLS OR BASES, CONCRETE FOUNDATIONS OR PROPOSED CURBS, OR EXISTING CONCRETE PAVEMENT. PLACE JOINT SEALANT ON ALL EXPANSION JOINTS.
- CONTRACTOR TO CONSTRUCT CONTRACTION AND EXPANSION JOINTS IN ALL NEW CONCRETE PAVEMENT. CONTRACTION JOINTS SHALL BE TOOLED WHERE SIDEWALK WIDTH IS 8' OR LESS, AND SHALL BE SPACED EQUAL TO THE WIDTH OF THE PAVEMENT (I.E. 8' SPACING FOR 8' WIDE WALK), BUT NOT MORE THAN 10' APART. PLACE EXPANSION JOINTS WITH JOINT SEALANT AT MAXIMUM 50' SPACING. CONTRACTOR SHALL GENERALLY MATCH THE JOINT PATTERNS FOR CONCRETE PAVEMENT WHEN SHOWN ON THE PLANS.
- CONCRETE PAVEMENT SHALL MEET THE REQUIREMENTS FOR MDT GRADE 4000 CONCRETE PER THE CURRENT MDT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- APPLY SILENCER SRT (OR APPROVED EQUIVALENT) ACRYLIC CURING COMPOUND ON ALL CONCRETE PAVING, CURBS, AND WALKS (APPLY PER MANUFACTURER RECOMMENDATIONS).
- RESTRIPING PARKING LOTS AS SHOWN, USING 4" PAVEMENT MARKING - BLUE FOR BARRIER FREE SPACES, YELLOW FOR STANDARD SPACES. IF NEW PARKING LAYOUT IS NOT INDICATED, MATCH ORIGINAL STRIPING PATTERN.
- DIRECTIONAL ARROW PAVEMENT MARKINGS AND PAVEMENT MARKING LETTERING WHERE INDICATED SHALL BE PAINTED WHITE UNLESS OTHERWISE NOTED. INSTALLATION OF THESE PERMANENT PAVEMENT MARKINGS SHALL BE PERFORMED PER THE MDT STANDARD SPECIFICATIONS FOR CONSTRUCTION SECTIONS 811 AND 920.
- FOR RELOCATED LIGHT POLES, CONTRACTOR IS RESPONSIBLE EXTENDING POWER FROM THE OLD LOCATIONS AND ENSURING THAT THE LIGHTS ARE FUNCTIONAL.

LEGEND

---	PROPOSED WATERMAIN	●	PROPOSED SAN MANHOLE (SAN)
---	PROPOSED SANITARY	●	PROPOSED STORM MANHOLE (MH)
---	PROPOSED STORM SEWER	●	PROPOSED CATCH BASIN (CB)
---	PROPOSED GAS MAIN	▲	PROPOSED INLET (INL)
---	PROPOSED ELECTRIC	▲	PROPOSED END SECTION (ES)
---	PROPOSED HYDRANT	⊕	PROPOSED FIELD CATCH BASIN (FCB) W/VEHICLE COVER OR STANDPIPE (SP) W/ BAR GRATE COVER
⊗	PROPOSED GATE VALVE & WELL (GVW)	⊕	UTILITY CROSSING (SEE DATA TABLE)
⊗	PROPOSED TAPPING SLEEVE, VALVE & WELL (TSVW)	⊕	CB - STRUCT. TYPE
---	STANDARD BITUMINOUS PAVEMENT	2	STRUCT. NO.
---	HEAVY-DUTY BITUMINOUS PAVEMENT	20	STRUCT. NO.
---	DEEP-STRENGTH BITUMINOUS PAVEMENT	10	STRUCT. NO.
---	CONCRETE PAVEMENT	XXX	STRUCT. TYPE
---	CONCRETE SIDEWALK		
---	MILL PAVEMENT		

BID AND ALTERNATE DESCRIPTION - NEW PAVEMENT

BASE BID

BASE BID INCLUDES THE PLACEMENT OF NEW ASPHALT PAVEMENT PER THE STANDARD DUTY ASPHALT PAVEMENT SECTION FOR THE BASE BID.

ALTERNATE C-1

THIS ALTERNATE INCLUDES THE BASE BID PAVEMENT PLACEMENT NOTED ABOVE, PLUS THE PLACEMENT OF NEW 21A4 AGGREGATE BASE AS SHOWN IN THE PAVEMENT SECTION ON SHEET C-1 FOR ALTERNATE C-1. WORK SHALL ALSO INCLUDE IMPACT WITH CONTAMINATED SOILS, DISPOSAL OF THOSE SOILS, AND FOLLOWING THE REQUIREMENTS OUTLINED IN THE DUE CARE PLAN. THE COST INDICATED FOR THE ALTERNATE C-1 PAVEMENT SHALL BE THE ADDITIONAL COST OVER AND ABOVE THE BASE BID COST FOR THE PLACEMENT OF THE AGGREGATE BASE.

ALTERNATE C-2

THIS ALTERNATE INCLUDES THE BASE BID PAVEMENT PLACEMENT NOTED ABOVE, PLUS THE PLACEMENT OF NEW 21A4 AGGREGATE BASE AND THE SAND SUBGRADE AS SHOWN IN THE PAVEMENT SECTION ON SHEET C-2 FOR ALTERNATE C-2. WORK SHALL ALSO INCLUDE IMPACT WITH CONTAMINATED SOILS, DISPOSAL OF THOSE SOILS, AND FOLLOWING THE REQUIREMENTS OUTLINED IN THE DUE CARE PLAN.

THE COST INDICATED FOR THE ALTERNATE C-2 PAVEMENT SHALL BE THE ADDITIONAL COST OVER AND ABOVE THE BASE BID COST FOR THE PLACEMENT OF THE AGGREGATE BASE.

UNIT PRICING

INCLUDE UNIT PRICE COST FOR THE FOLLOWING:

REMOVE/REPLACE CURB AND GUTTER - PER LFT

SUBGRADE UNDERCUTTING - PER CYD

(SUBGRADE UNDERCUTTING INCLUDES EXCAVATION AND REMOVAL OF POOR SOILS FROM THE SITE, AND IMPORT, PLACEMENT AND COMPACTION OF 21A4 CRUSHED LIMESTONE IN PLACE OF THE POOR SOILS)

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PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES IN CONFLICT WITH PROPOSED IMPROVEMENTS SHALL BE VERIFIED IN THE FIELD. CALL MISS DIG'S WORKING DAYS PRIOR TO CONSTRUCTION.

UTILITY NOTE

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400 MACK AVENUE PARKING LOT

DETROIT, MICHIGAN

PAVING & LAYOUT PLAN

SECTION .		
TOWN . NORTH RANGE . EAST		
CITY OF DETROIT		
WAYNE COUNTY, MICHIGAN		
NO.	DATE	REVISION
1	03/20/2025	DESIGN DEVELOPMENT
2	04/16/2025	OWNER REVIEW
3	06/25/2025	BIDS
VERIFY SCALES		
BAR IS ONE INCH ON ORIGINAL DRAWING		
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY		
DATE	02-03-25	
DRAWER	D. KATTOUAH	
DESIGNER		
CHECKED		
T. SOVEL		
PROJECT MANAGER		
T. SOVEL		
DEPARTMENT MANAGER APPROVAL		
T. SOVEL		
JOB NO.	NP24150	DRAWING NO. NP24150PAV
SCALE:	1" = 30'	SHEET NO. C4.1

CLIENT:

WAYNE STATE UNIVERSITY
42 W. WARREN AVE.
DETROIT, MI 48202



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**400 MACK AVENUE
PARKING LOT**

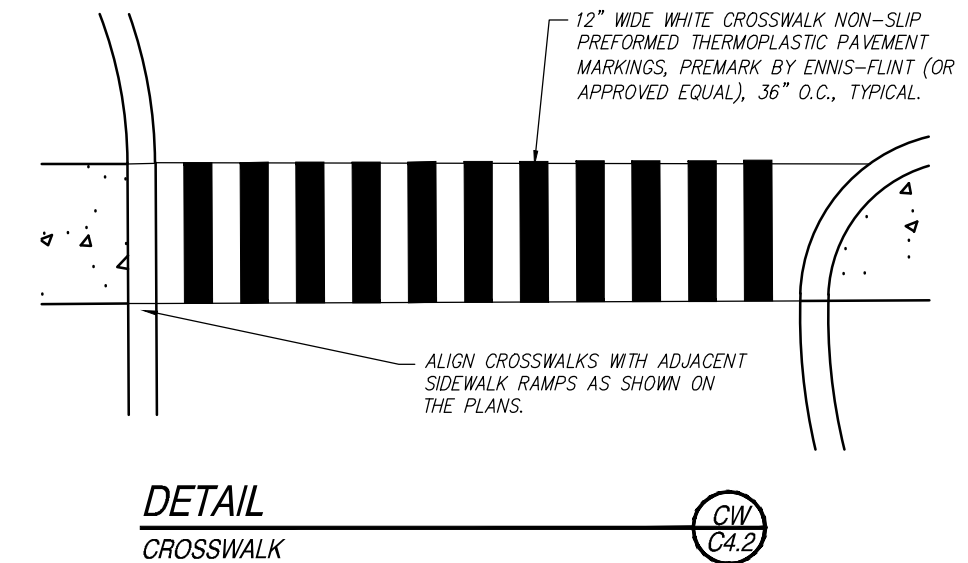
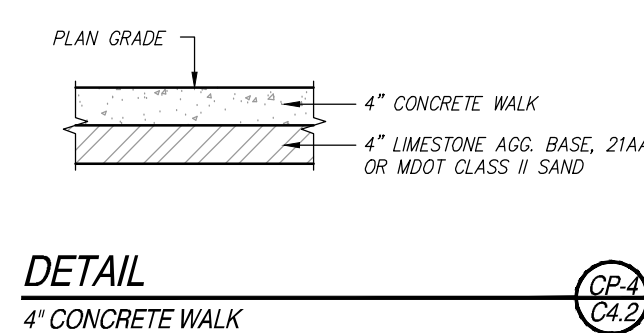
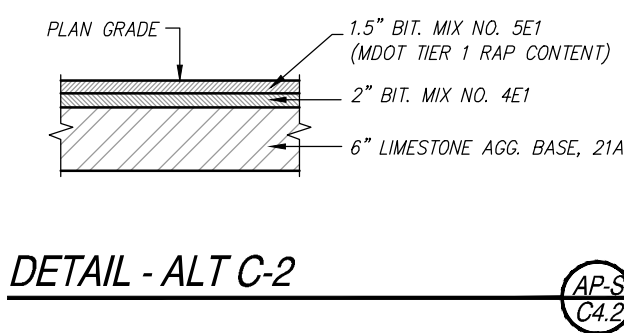
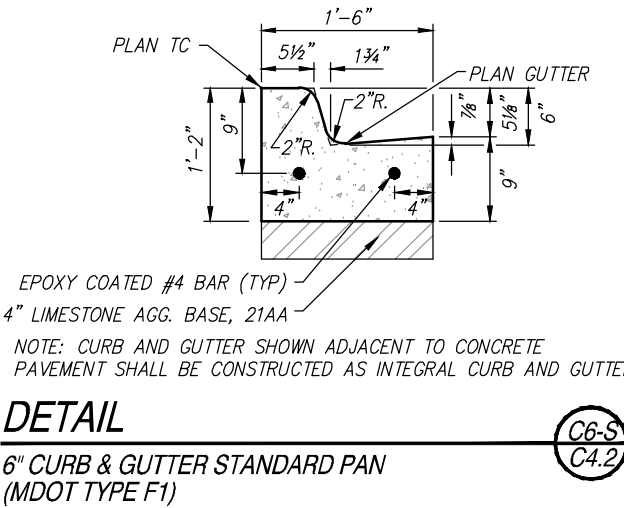
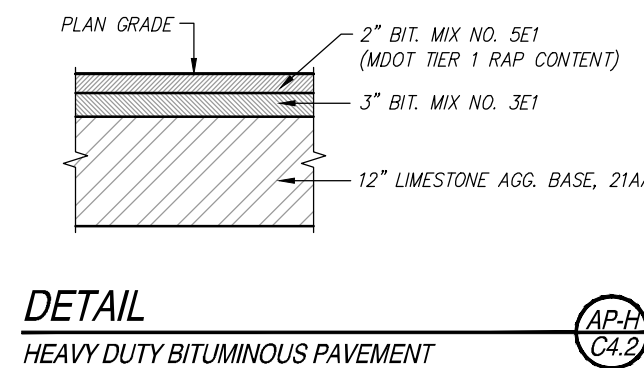
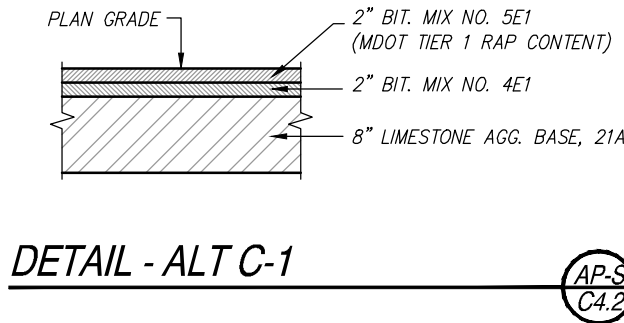
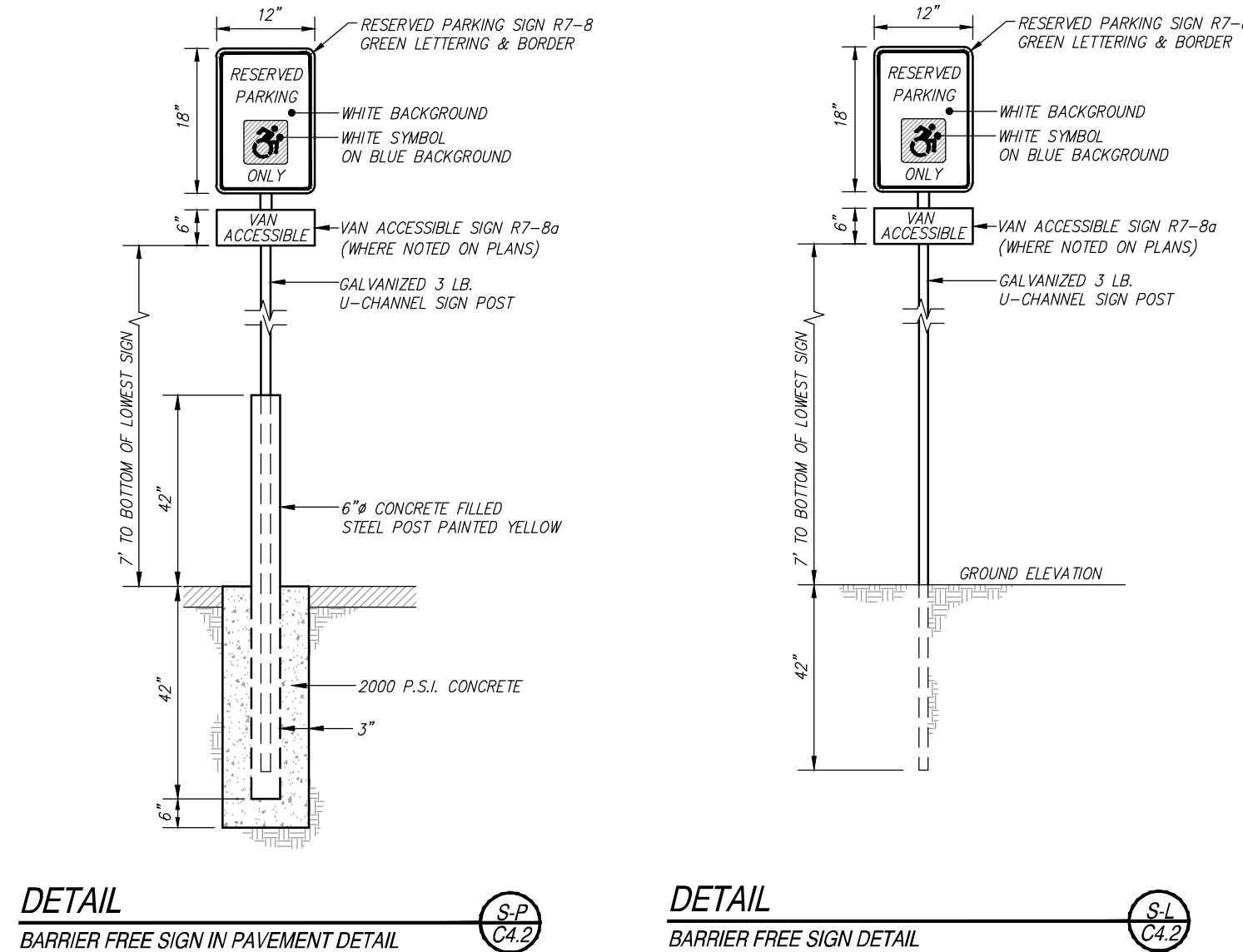
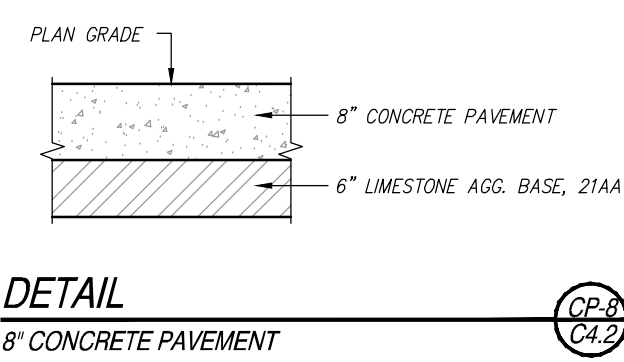
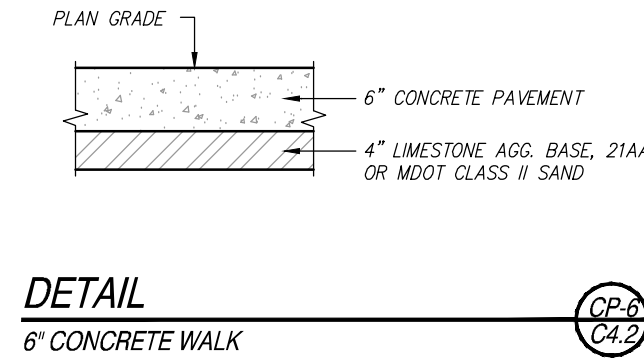
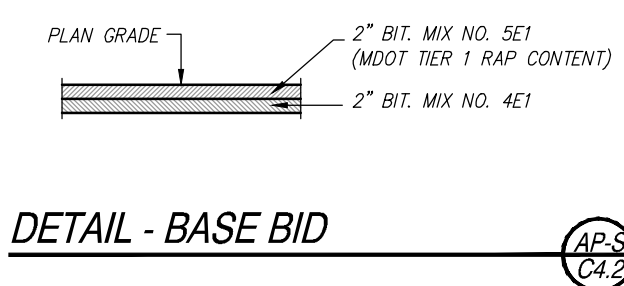
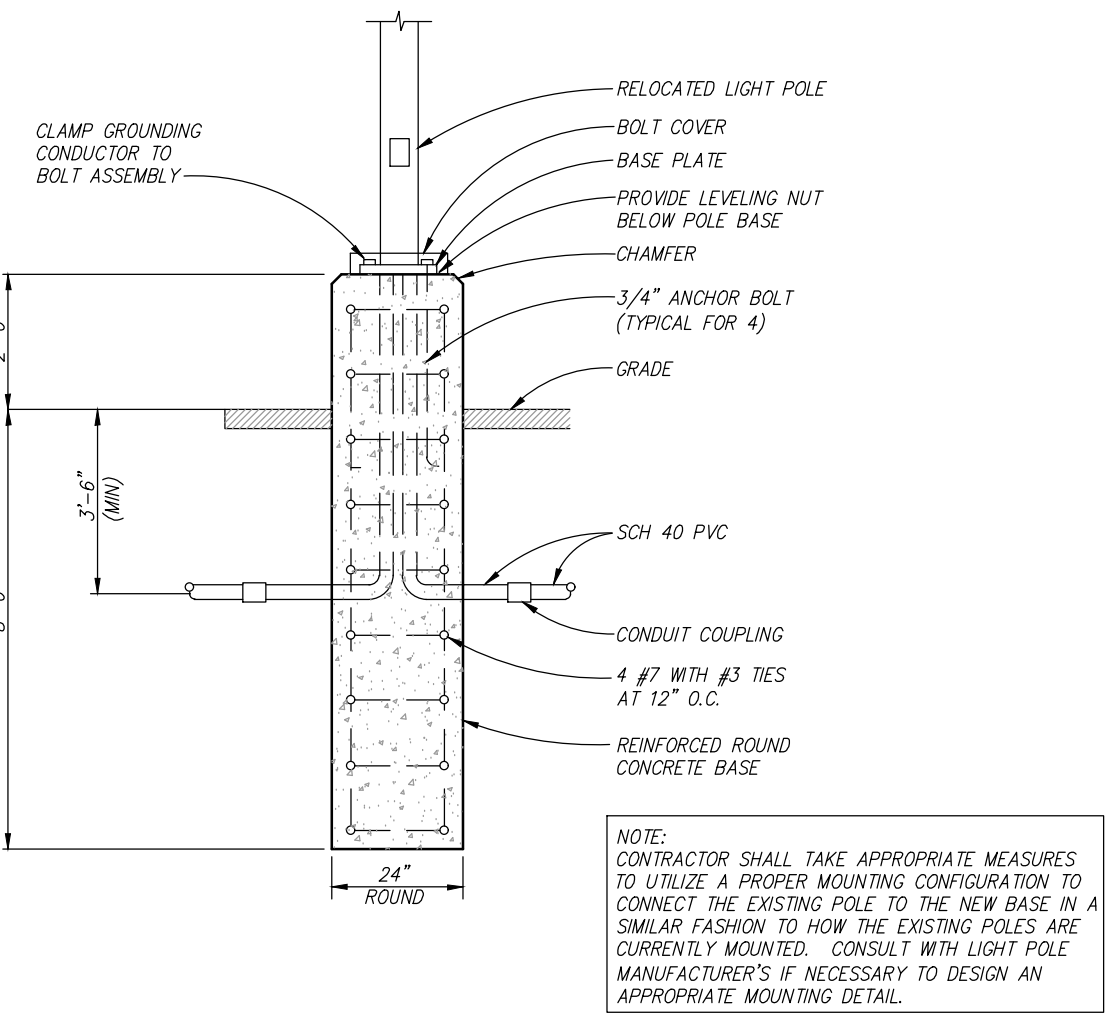
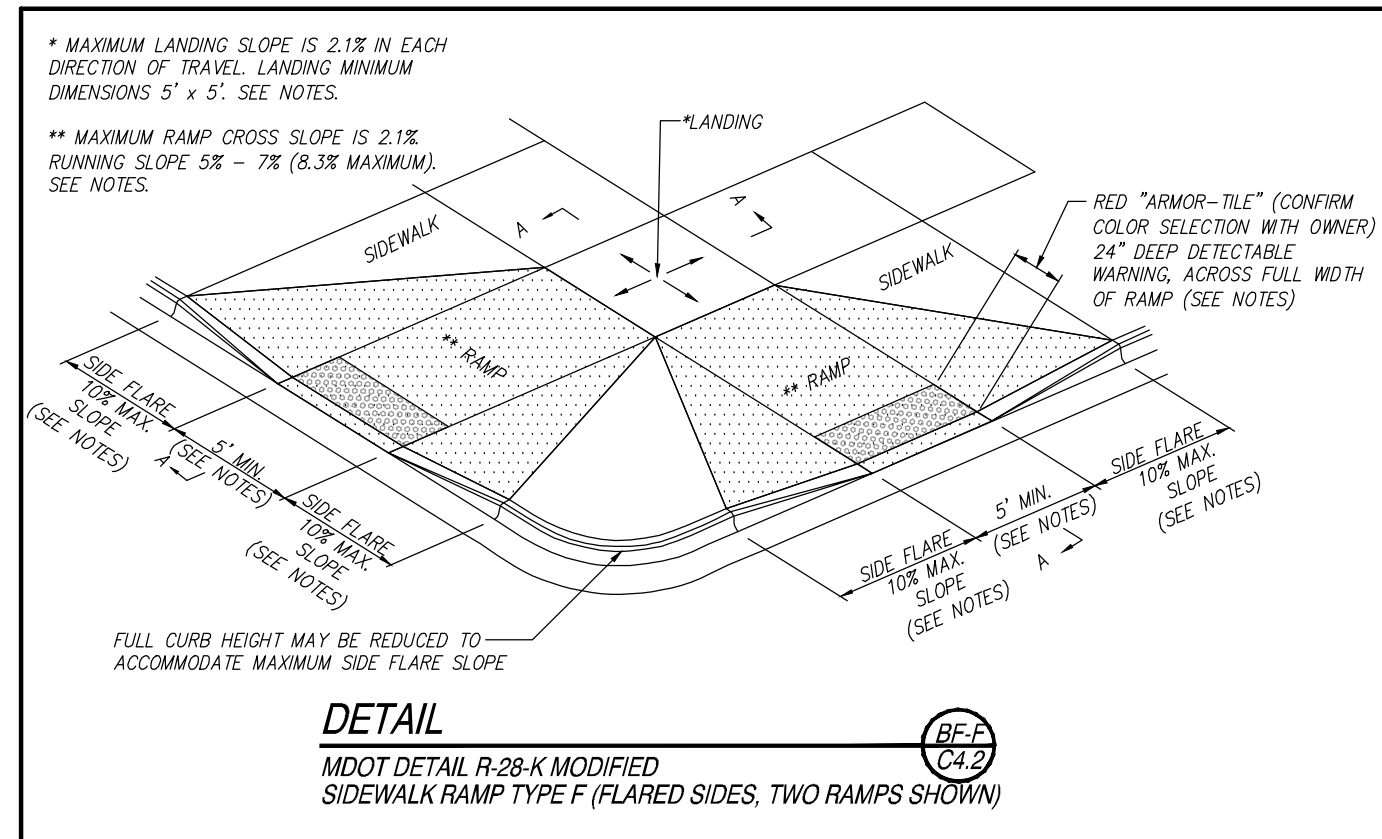
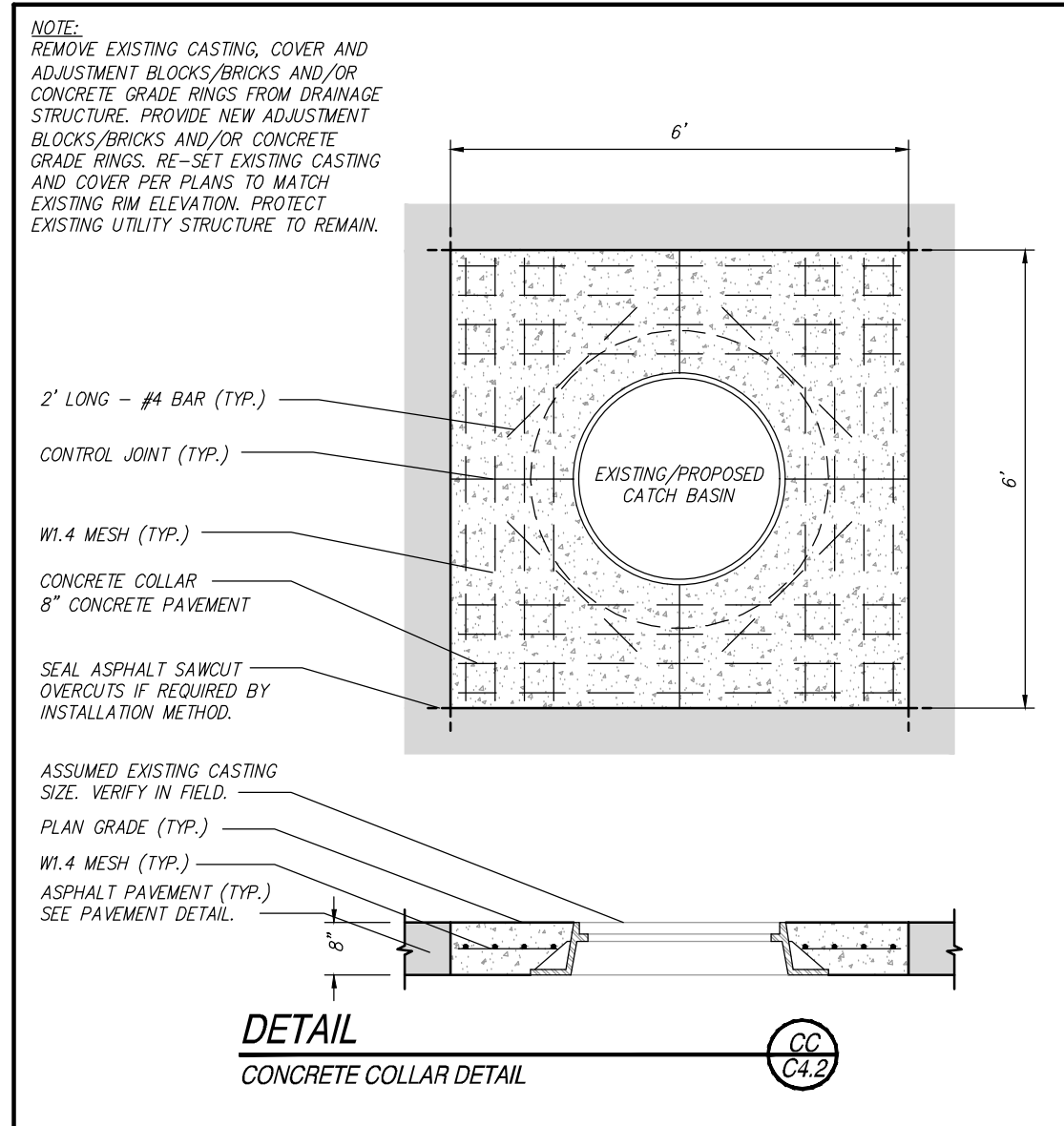
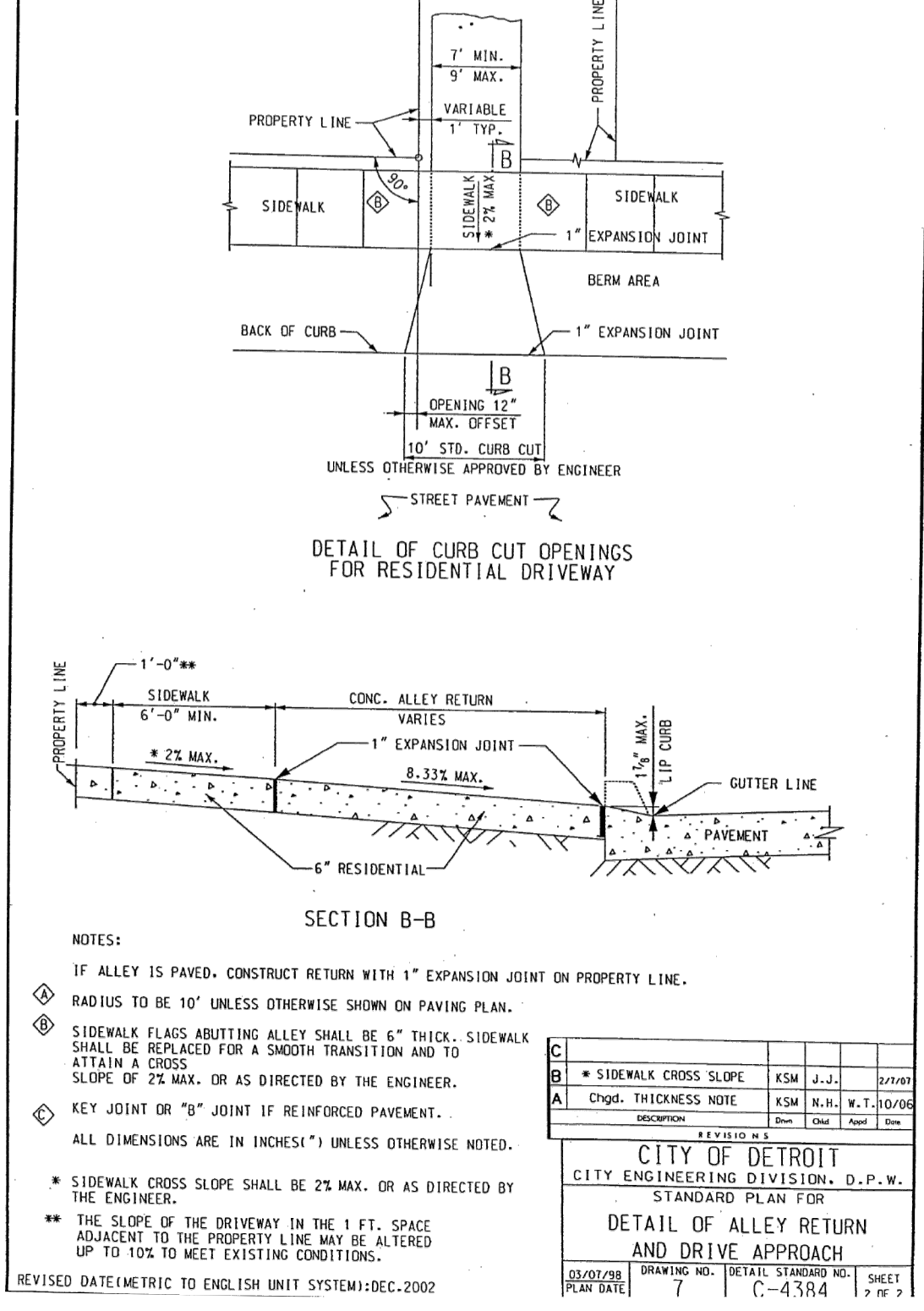
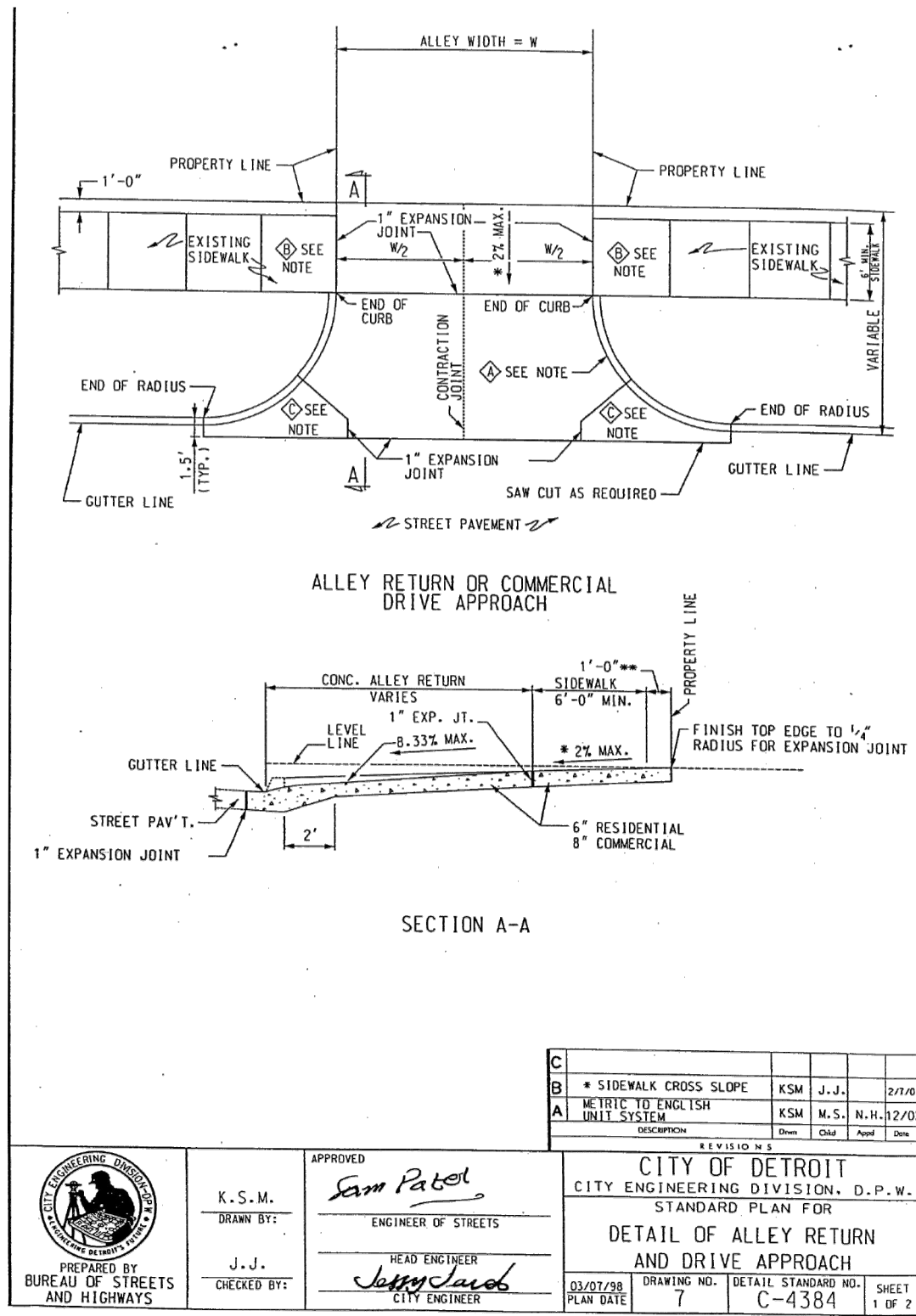
DETROIT, MICHIGAN

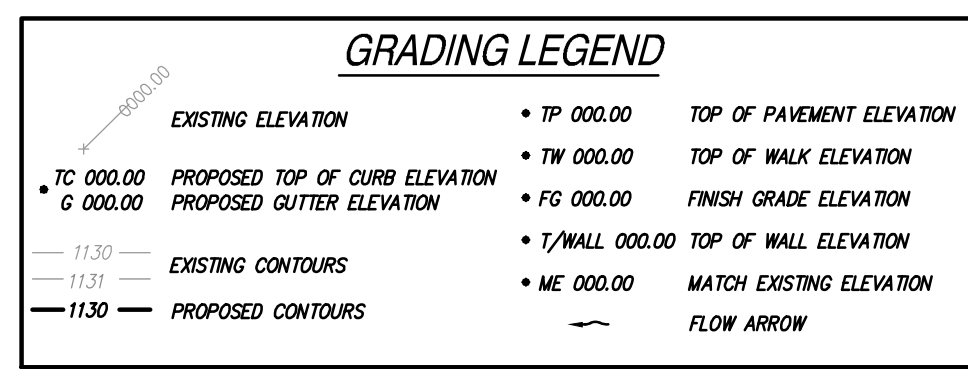
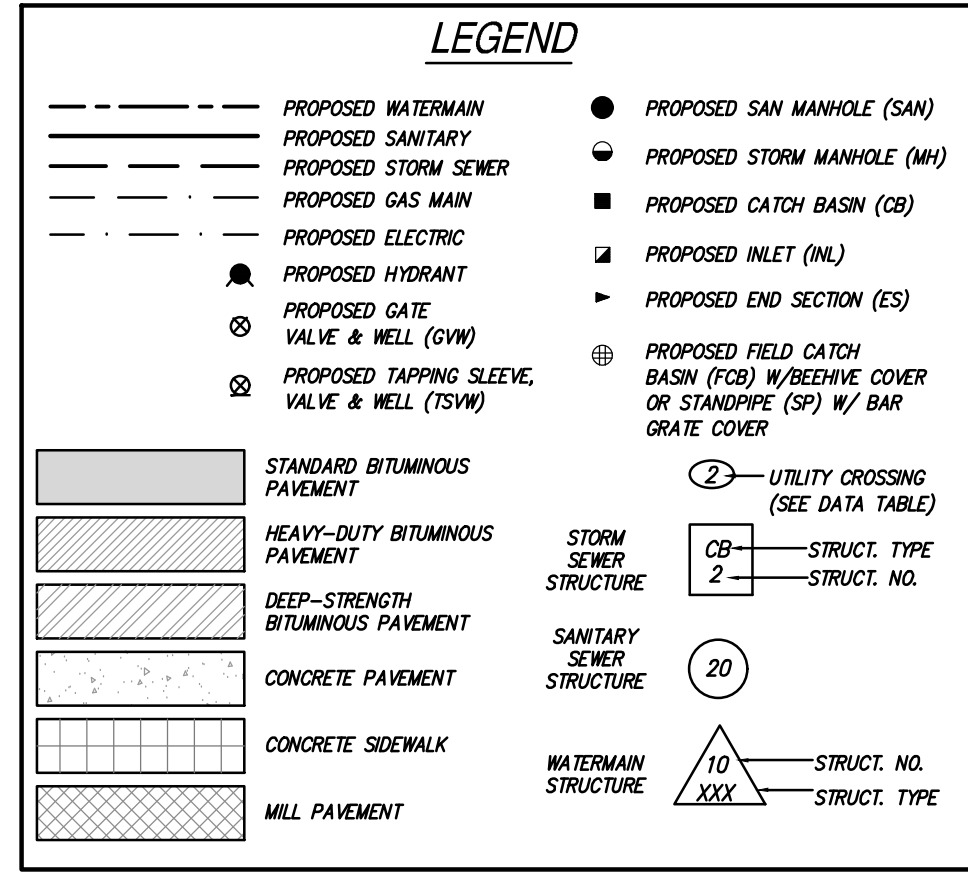
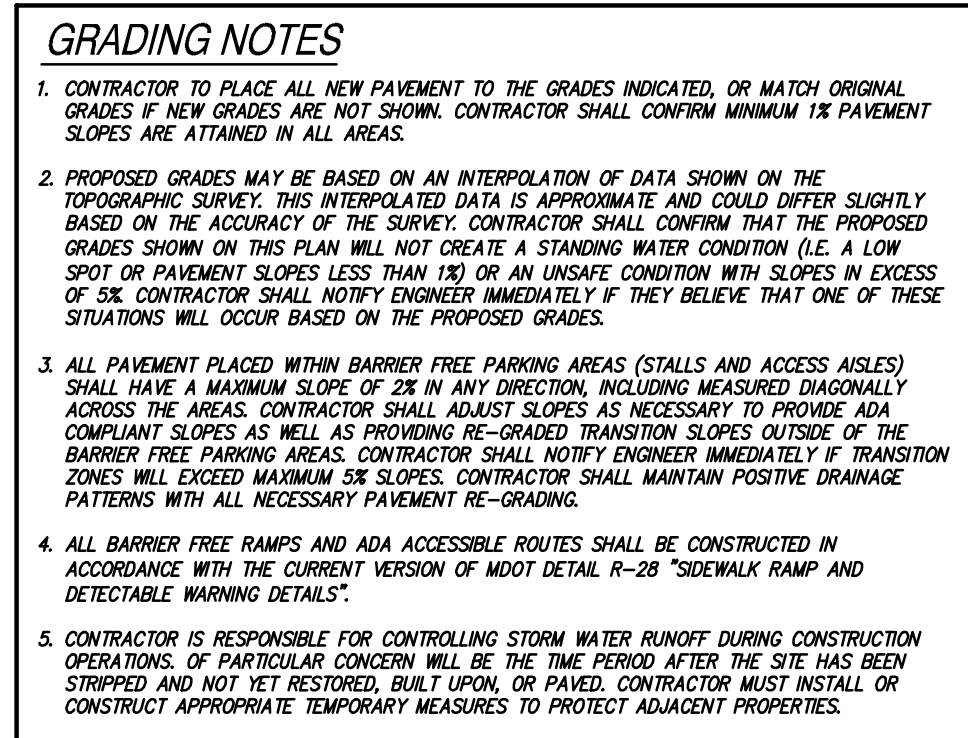
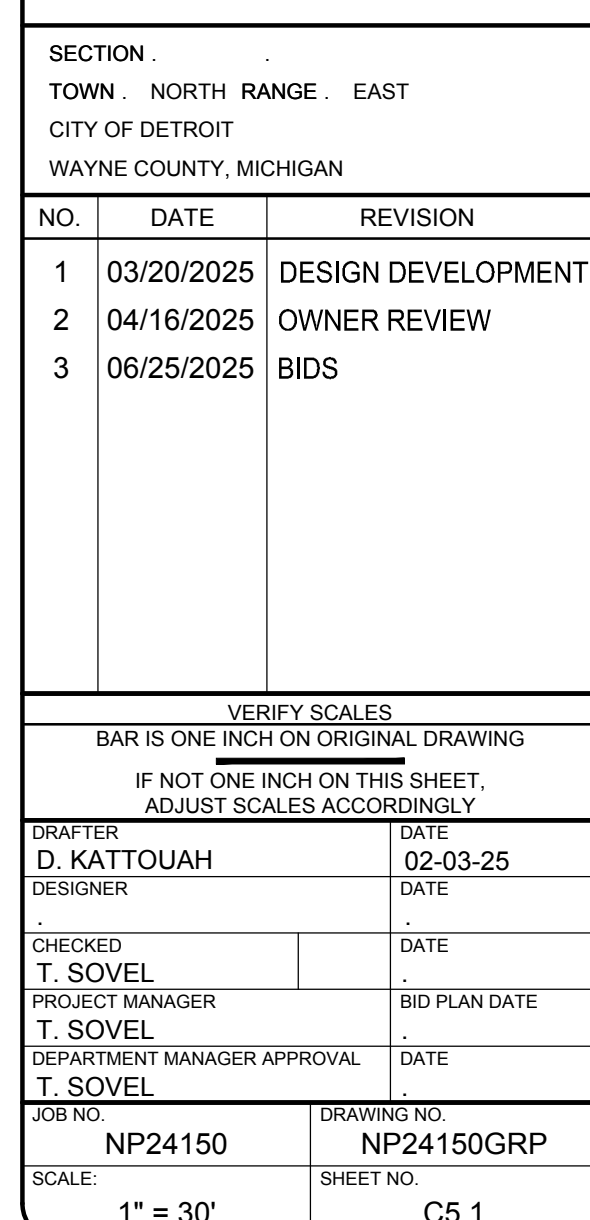
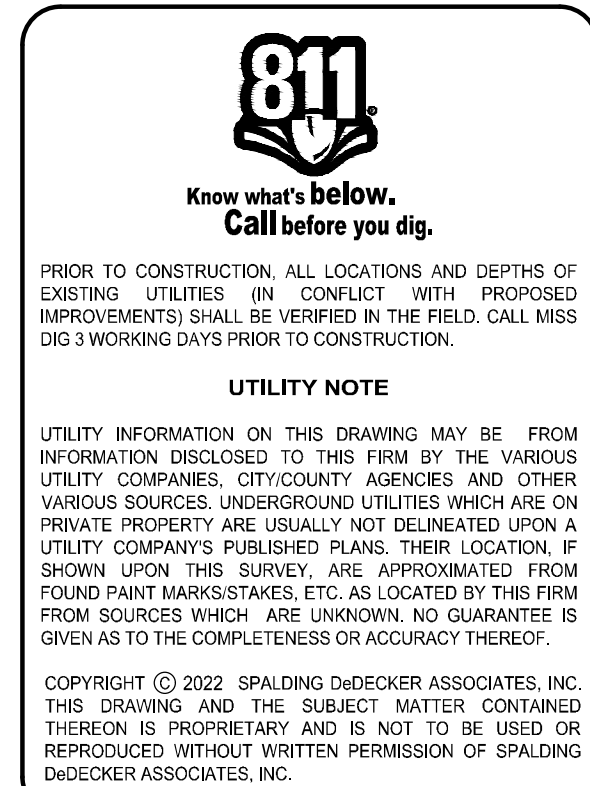
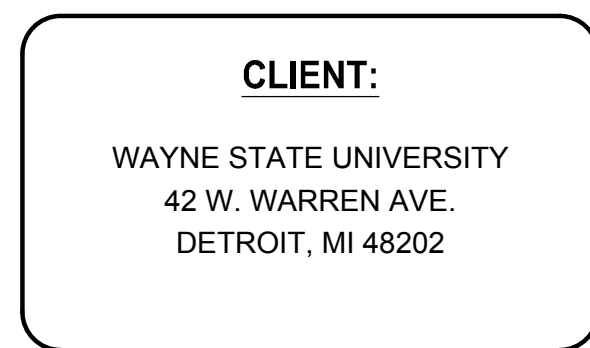
DETAILS

SECTION .
TOWN . NORTH RANGE . EAST
CITY OF DETROIT
WAYNE COUNTY, MICHIGAN

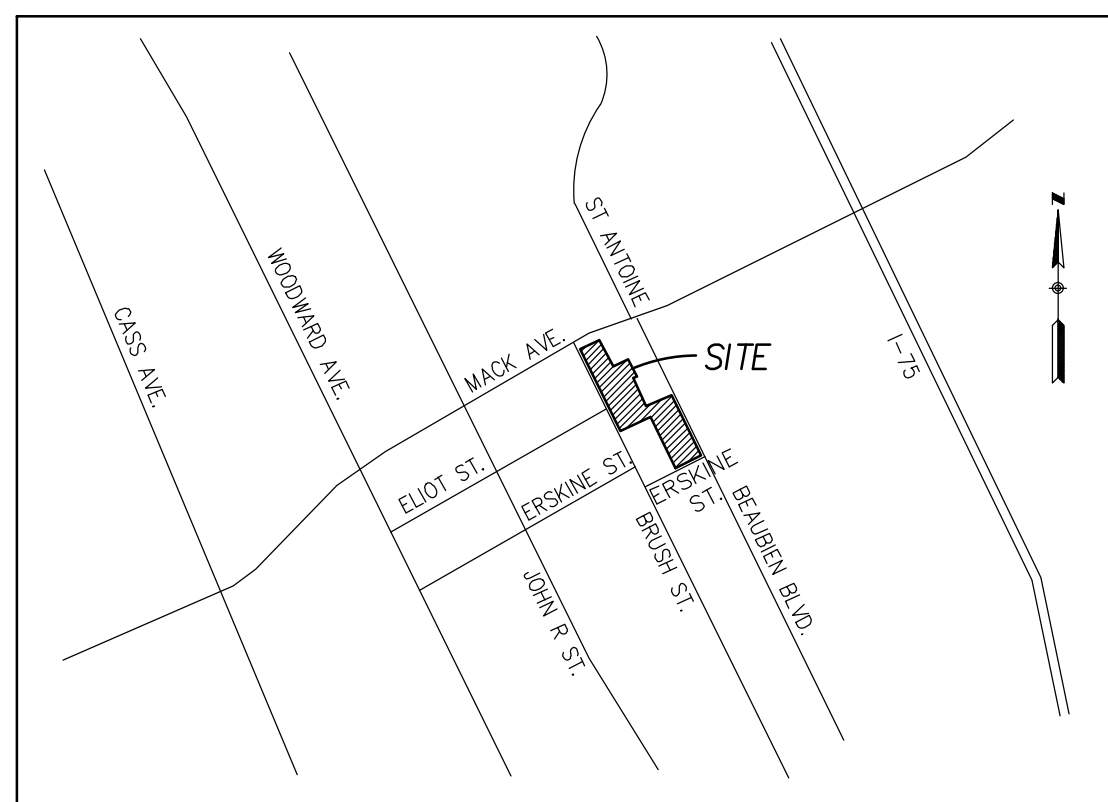
NO.	DATE	REVISION
1	03/20/2025	DESIGN DEVELOPMENT
2	04/16/2025	OWNER REVIEW
3	06/25/2025	BIDS

VERIFY SCALES	
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DRAWER D. KATTOUAH	DATE 02-03-25
DESIGNER T. SOVEL	DATE
CHECKED T. SOVEL	DATE
PROJECT MANAGER T. SOVEL	BID PLAN DATE
DEPARTMENT MANAGER APPROVAL T. SOVEL	DATE
JOB NO. NP24150	DRAWING NO. NP24150PAV
SCALE: N/A	SHEET NO. C4.2

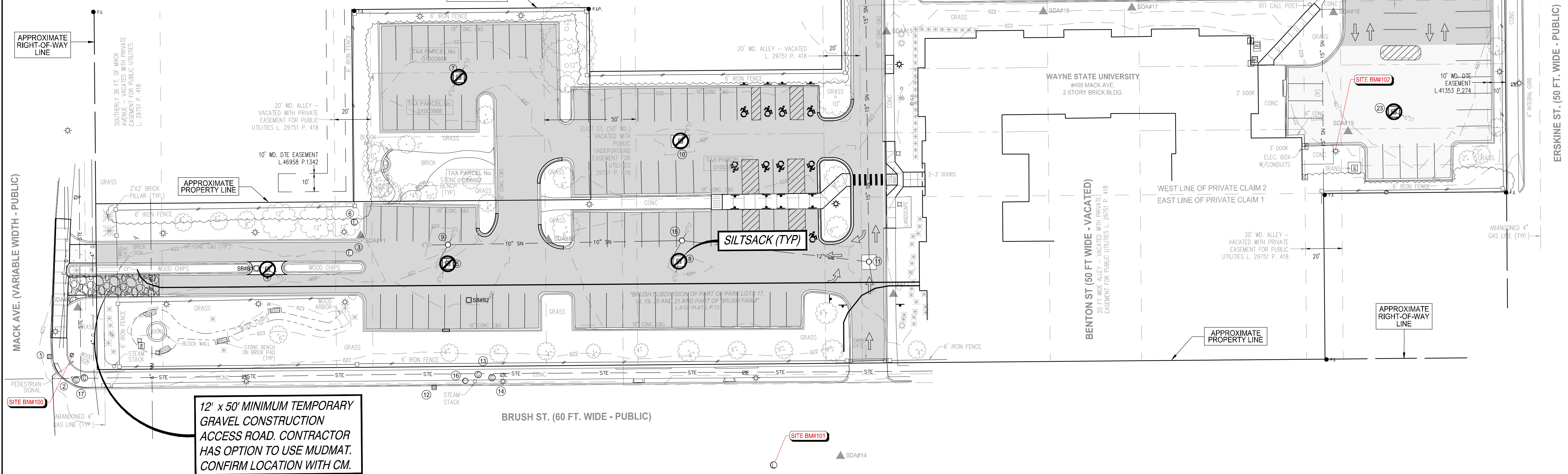




GRADING DETAIL "A"
SCALE: 1"=10'



LOCATION MAP
NOT TO SCALE



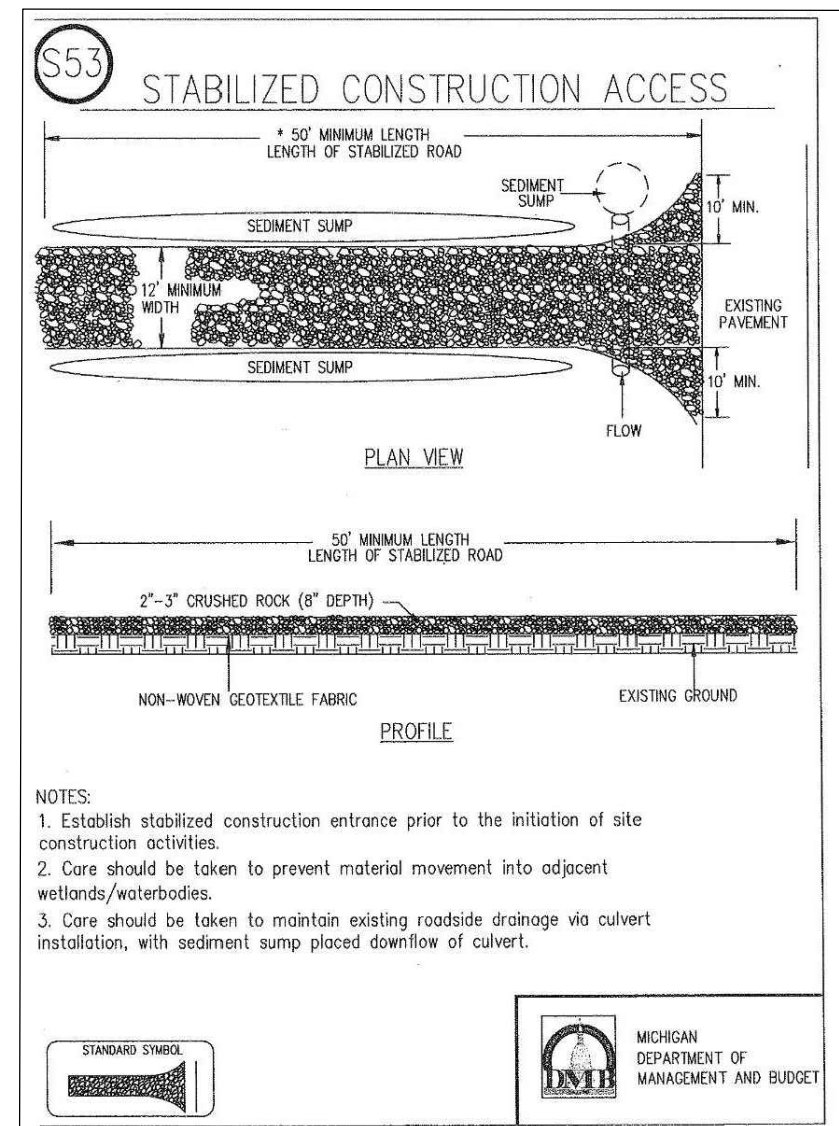
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- FABRICATED TO FIT ANY SIZE OR SHAPE
- PERMEABILITY OF 200 GPM/SF (Hi-Flow style)
- REPLACES ALL ROCK OR GEOTEXTILES
- REUSABLE

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SOIL EROSION/SEDIMENTATION CONTROL NOTES

1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF WAYNE COUNTY.
2. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL DEVICES, AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
3. EROSION AND ANY SEDIMENT FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATER WAYS. WATERWAYS INCLUDE BOTH NATURAL AND MANMADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
4. EROSION AND SEDIMENT CONTROL DEVICES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
5. CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICES AS REQUIRED AND AS DIRECTED ON THESE PLANS. THEY SHALL REMOVE TEMPORARY DEVICES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER EARTH CHANGES HAVE BEEN ACCOMPLISHED AND APPROVED BY WAYNE COUNTY.
6. DEBRIS FROM PROJECT WILL BE LEFT ON THE SITE BY DELIVERY OR CONSTRUCTION VEHICLES THROUGH THE USE OF CLEAN STONE EXITS. SHOULD THE STONE BECOME LESS EFFECTIVE IT WILL BE REPLACED. ALL CONSTRUCTION TRAFFIC WILL USE THE CLEAN STONE EXIT.
7. DUST CONTROL WILL BE EXERCISED AT ALL TIMES WITHIN THE PROJECT BY THE CONTRACTORS. SPRINKLING TANK TRUCKS WILL BE AVAILABLE AT ALL TIMES TO BE USED ON HAUL ROUTES OR OTHER PLACES WHERE DUST BECOMES A PROBLEM.
8. IMMEDIATELY AFTER SEEDING, MULCH ALL SEEDING AREAS WITH UNWEATHERED SMALL GRAIN STRAW OR HAY. SPREAD UNIFORMY AT A RATE OF 1 1/2 TO 2 TONS PER ACRE OR 0.10 POUNDS PER SQUARE FOOT. ANCHOR MULCH WITH DISC TYPE MULCH ANCHORING TOOL.
9. ALL MUD, DIRT, AND DEBRIS TRACKED ONTO EXISTING ROADS FROM THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR OR BUILDER. ALL MUD, DIRT, AND DEBRIS TRACKED OR SPILLED ONTO PAVED SURFACES WITHIN THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
10. PERMANENT SOIL EROSION CONTROL DEVICES FOR ALL SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 15 CALENDAR DAYS AFTER FINAL GRADING OR FINAL EARTH CHANGES HAVE BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED OR WHERE SIGNIFICANT EARTH CHANGE ACTIVITY CEASES TEMPORARY SOIL EROSION CONTROL DEVICES SHALL BE IMPLEMENTED WITHIN 10 CALENDAR DAYS. ALL TEMPORARY SOIL EROSION CONTROL DEVICES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION DEVICES ARE IMPLEMENTED AND/OR ESTABLISHED. ALL PERMANENT SOIL EROSION CONTROL DEVICES WILL BE IMPLEMENTED AND ESTABLISHED BEFORE A CERTIFICATE OF INSURANCE IS ISSUED.
11. ALL CONTRACTORS ARE TO KEEP EXCAVATED MATERIAL ON SITE. PARTICULAR CARE SHOULD BE TAKEN WHEN WORKING ALONG THE PERIMETER OF THE SITE. IN NO EVENT SHALL THE WORK AREA EXTEND BEYOND THE LIMITS INDICATED ON THE PLANS.
12. THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT BY THE CONTRACTOR.

LEGAL DESCRIPTION

SOURCE: ASK SERVICES TITLE COMMITMENT
REFERENCE No.: 27976492, EFFECTIVE DATE: 11-20-2024
OWNER: SEE PARCEL DESCRIPTIONS BELOW
ADDRESS: 400 MACK AVENUE

TAX PARCEL No: 01000867 -- CITY OF DETROIT (P&DO, CARE OF DBA)
N ELIOT 53 MILLER & WILCOX LI P219 PLATS, W C R 1/50 35 X 95

TAX PARCEL No: 01000868 -- CITY OF DETROIT (P&DO, CARE OF DBA)
N ELIOT 54 MILLER & WILCOX LI P219 PLATS, W C R 1/50 35 X 95

TAX PARCEL No: 01000869 -- CITY OF DETROIT (P&DO, CARE OF DBA)
N ELIOT 55 MILLER & WILCOX LI P219 PLATS, W C R 1/50 35 X 95

TAX PARCEL No: 01003830-6 -- WAYNE STATE UNIVERSITY
N BRUSH BLK J 2 BLK K 1&2 BLK L 1&2 AND VAC BENTON & ELIOT STS 50 FT WD & S 36 FT VAC MACK ADJ ALSO N 10 FT VAC ALLEY BLK J AND VAC ALLEYS BLKS K & L ADJ BRUSH SUB OF PT PARK LOTS 17-21 LB P12 PLATS W C R 1/49 29 THRU 46 51&22 AND VAC BENTON ST 50 FT WD & S 25 FT VAC ELIOT ST ADJ ALSO VAC ALLEYS ADJ MILLER & WILCOX SUB LI P86 PLATS W C R 1/44 53 THRU 55 AND N 25 FT VAC ELIOT ST ADJ ALSO S 10 FT VAC ALLEY ADJ MILLER & WILCOX SUB LI P219 PLATS W C R 1/50 1/----- 165,012 SQ FT

SOIL EROSION/SEDIMENTATION CONTROL CONSTRUCTION SEQUENCE

1. INSTALL SILT FENCE AROUND DEFINED PERIMETER AS SHOWN, INLET FILTERS AND CONSTRUCT TEMPORARY CONSTRUCTION ACCESS.
 2. COMPLETE PAVING DEMOLITION.
 3. PERFORM PAVING OPERATIONS.
 4. EROSION CONTROL MEASURES ARE NOT TO BE REMOVED UNTIL THE CITY AND/OR COUNTY GRANTS ITS APPROVAL. INLET FILTERS SHALL BE PERIODICALLY INSPECTED AND CLEANED/REPLACED AS NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED APPROXIMATELY ACCORDING TO THE FOLLOWING SEQUENCE OF CONSTRUCTION.
- PROJECT COMMENCEMENT ON OR ABOUT AUGUST 1ST 2025.
- | SCHEDULE | |
|---|----------|
| A. INSTALL INLET FILTERS AND CONSTRUCTION ENTRANCE AS SHOWN ON PLANS. | 2-3 DAYS |
| B. DEMOLITION AND PAVING. | 3 MONTHS |
| C. CLEAN PAVEMENTS, WALKS, CULVERTS, AND WATERCOURSES OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH REMOVING ALL TEMPORARY DEVICES. | 1 WEEK |
- PROJECT COMPLETION ON OR ABOUT NOVEMBER 2025.

APPROX. GROSS ACREAGE DISTURBED = 1.76± ACRES
DISTANCE TO NEAREST BODY OF WATER = 8,100± LF (DETROIT RIVER)

SOIL TYPES:
MiduB -- MIDTOWN-URBAN LAND COMPLEX, 0 TO 4 PERCENT SLOPES

THIS PROJECT SHALL BE CONSTRUCTED IN COMPLIANCE WITH PART 91 OF ACT 457 OF 1994, AS AMENDED. THE SOIL EROSION AND SEDIMENT CONTROL ACT.

LEGEND

- | | |
|--|---|
| --- PROPOSED WATERMAIN | ● PROPOSED SAN MANHOLE (SAM) |
| --- PROPOSED SANITARY | ● PROPOSED STORM MANHOLE (MH) |
| --- PROPOSED STORM SEWER | ■ PROPOSED CATCH BASIN (CB) |
| --- PROPOSED GAS MAIN | ▲ PROPOSED INLET (INL) |
| --- PROPOSED ELECTRIC | ▶ PROPOSED END SECTION (ES) |
| --- PROPOSED HYDRANT | ⊕ PROPOSED FIELD CATCH BASIN (FCB) W/REVERSE COVER OR STANDPIPE (SP) W/ BAR GRATE COVER |
| ⊙ PROPOSED GATE VALVE & WELL (GVW) | ⊕ PROPOSED FIELD CATCH BASIN (FCB) W/REVERSE COVER OR STANDPIPE (SP) W/ BAR GRATE COVER |
| ⊙ PROPOSED TAPPING SLEEVE VALVE & WELL (TSW) | ⊕ PROPOSED FIELD CATCH BASIN (FCB) W/REVERSE COVER OR STANDPIPE (SP) W/ BAR GRATE COVER |
| STANDARD BITUMINOUS PAVEMENT | 20 UTILITY CROSSING (SEE DATA TABLE) |
| HEAVY-DUTY BITUMINOUS PAVEMENT | CB 2 STRUCT. TYPE |
| DEEP-STRENGTH BITUMINOUS PAVEMENT | 20 STRUCT. NO. |
| CONCRETE PAVEMENT | 20 STRUCT. NO. |
| CONCRETE SIDEWALK | 10 XXX STRUCT. TYPE |
| MILL PAVEMENT | 10 XXX STRUCT. TYPE |
| STORM SEWER STRUCTURE | |
| SANITARY SEWER STRUCTURE | |
| WATERMAIN STRUCTURE | |

GRADING LEGEND

- | | |
|--------------------------------|-------------------------------------|
| EXISTING ELEVATION | TP 000.00 TOP OF PAVEMENT ELEVATION |
| PROPOSED TOP OF CURB ELEVATION | TW 000.00 TOP OF WALK ELEVATION |
| PROPOSED GUTTER ELEVATION | FG 000.00 FINISH GRADE ELEVATION |
| EXISTING CONTOURS | TWALL 000.00 TOP OF WALL ELEVATION |
| PROPOSED CONTOURS | ME 000.00 MATCH EXISTING ELEVATION |
| | FLOW ARROW |

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Know what's below.
Call before you dig.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES (IN CONFLICT WITH PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD. CALL MISS DIG 3 WORKING DAYS PRIOR TO CONSTRUCTION.

UTILITY NOTE

UTILITY INFORMATION ON THIS DRAWING MAY BE FROM INFORMATION DISCLOSED TO THIS FIRM BY THE VARIOUS UTILITY COMPANIES, CITY/COUNTY AGENCIES AND OTHER VARIOUS SOURCES. UNDERGROUND UTILITIES WHICH ARE ON PRIVATE PROPERTY ARE USUALLY NOT DELINEATED UPON A UTILITY COMPANYS PUBLISHED PLANS. THEIR LOCATION, IF SHOWN UPON THIS SURVEY, ARE APPROXIMATED FROM FOUND PAINT MARKS/STAKES, ETC. AS LOCATED BY THIS FIRM FROM SOURCES WHICH ARE UNKNOWN. NO GUARANTEE IS GIVEN AS TO THE COMPLETENESS OR ACCURACY THEREOF.

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400 MACK AVENUE PARKING LOT

DETROIT, MICHIGAN SOIL EROSION AND SEDIMENTATION CONTROL PLAN

SECTION .		
TOWN . NORTH RANGE . EAST		
CITY OF DETROIT		
WAYNE COUNTY, MICHIGAN		
NO.	DATE	REVISION
1	03/20/2025	DESIGN DEVELOPMENT
2	04/16/2025	OWNER REVIEW
3	06/25/2025	BIDS
VERIFY SCALES		
BAR IS ONE INCH ON ORIGINAL DRAWING		
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY		
DRAWER	D. KATTOUAH	DATE 02-03-25
DESIGNER	T. SOVEL	DATE
CHECKED	T. SOVEL	DATE
PROJECT MANAGER	T. SOVEL	BID PLAN DATE
DEPARTMENT MANAGER APPROVAL	T. SOVEL	DATE
JOB NO.	NP24150	DRAWING NO. NP24150SEC
SCALE:	1" = 30'	SHEET NO. C6.1