

Stantec Architecture Inc. 2338 Coolidge Highway, Berkley MI 48072-1500

January 20, 2023 File: Wayne State University Art Building Elevator Replacement 5400 Gullen Mall, Detroit, MI Stantec Project #: 214100597

## Attention: ALL Bidders Reference: Addendum No. 02 - PLANS & SPECIFICATIONS

NOTE: If you have questions about this project, please contact: WSU Procurement Department.

This Addendum is generally separated into sections for convenience; however, all contractors, subcontractors, material suppliers and other involved parties shall be responsible for reading the entire Addendum. Failure to list an item(s) in all affected sections of this Addendum does not relieve any party affected from performing per instructions, provided the information is set forth one time anywhere in the Addendum.

This document shall become attached to and part of the Construction Documents for the aforementioned project.

## **SPECIFICATIONS**

- 1. 07 01 51 Roof Repairs (attachment issued)
  - a. Section 1.8 Roof repair warranty to match existing warranty period of built-up roofing.
  - b. Existing roof warranty attached.
- 2. 14 24 00 Hydraulic Elevators (not issued)
  - a. The elevator contractor will be responsible for all smoke system and fire recall requirements per code up to and including coordination with existing house fire alarm devices.

## DRAWINGS - ARCHITECTURAL

- 1. Sheet Ae111 (re-issued):
  - a. Revise detail 5/Ae111 to clarify roof slope to be 1/4" per foot.
  - b. Added Construction Note 14 to include elevator wall pad hooks.



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## Reference: Addendum No. 02 – PLANS & SPECIFICATIONS

- 2. Sheet Ae601 (not issued):
  - a. Revise detail 6/Ae601 to adjust curb height to 2'-0" min.
  - b. <u>Voluntary Alternate 01:</u> Deduct all work associated with construction of roof curb for split system air conditioner per detail 6/Ae601 and provide pricing for Rectorseal Big Foot Multi Frame XL B9731 system.
- 3. Staging location diagram attached.

## DRAWINGS - ELECTRICAL

- 1. Sheet Ee200 (re-issued):
  - a. Revise to add heat detectors.
- 2. Sheet Ee201 (re-issued):
  - a. Revise to add heat detectors.

END OF ADDENDUM No. 02



Koppers Inc. Commercial Roofing 436 Seventh Avenue Pittsburgh, PA 15219-1800 1 800 468 9629 Fax 412 227 2002 www.koppers.com

## **Koppers Built-Up Roofing Warranty**

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Owner Address	WAYNE STATE UNIVERSITY 5700 CASS AVE. SUITE 4200 DETROIT, MI 48202	Warranty Number Warranty Term	2005-545-11-MI-20 20 Years 09/27/2005
Building Address	WAYNE STATE UNIVERSITY ART BUILDING 5400 GULLEN MALL DETROIT, MI 48202	Effective Date Roof Specification Flashing Specification	220-4 180
Contractor Address	SCHENA ROOFING & SHEET METAL CO.,INC. 28299 KEHRIG DRIVE CHESTERFIELD, MI 48047-5248	Roofing Squares Lineal Feet Flashing	181 500

What is Covered: Koppers agrees to provide roof repairs for the term of this warranty to correct all roof water leaks\* in Koppers roofing systems installed according to Koppers specifications which may occur from:

- Ordinary wear and tear of the elements on Koppers built-up roofing, flashing materials, and insulation.
- · Defects in built-up roofing, flashing materials, or insulation supplied by Koppers.
- Workmanship of the original roofing contractor in installing Koppers built-up roofing, flashing materials and insulation in accordance with Koppers specifications.

\* "Roof water leaks" means water passing through the roofing or flashing membrane and into the interior of the building.

What is NOT Covered: Coverage is limited to the terms and conditions set forth above. This warranty does not cover the following:

- · Damage to the structure or its contents; loss of use, rents or profits; any type of consequential, incidental or special damages.
- Correction of any condition other than roof water leaks including, without limitation, blisters, clogged drains, ridging, bitumen drippage or migration.
- Roof water leaks or damage caused by natural disasters including, without limitation, wind damage, flood, hall, tornado, hurricane, lightning, fire, earthquakes, or acts of God.
- Roof water leaks or damage caused by abuse or neglect including, without limitation, vandalism, recreational use, acts of war or civil disobedience, traffic, storage of materials on the roof, falling objects, exposure to contaminants, or failure to maintain or to provide reasonable repairs consistent with Koppers specifications.
- Roof water leaks or damage caused by faulty construction or design including, without limitation, the failure of the building to support the roof, structural movement, or deflection.
- Roof water leaks or damage caused by distortion, expansion, or contraction of any metal or plastic work or non-warranted flashing.
- Deterioration or failure of the roof deck, copings, HVAC units, vents, walls or any underlying component of the roof membrane, not
  including insulation.
- Installation of, or damage caused by, roof top appurtenances including, without limitation, lightning protection equipment, antennas, HVAC units, pitch pans, framework or supports for: signs, piping, conduit or sprinkler systems.
- · Products supplied by others. Koppers assumes no responsibility for proper installation or performance of non-Koppers products.

See Reverse Side

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GAF <u>DIAMOND PLEDGE™R</u>	OOF GUARANTEE	I DI JEN
GAF MATERIALS CORPORATION		DING Preduce Notice & anno 199 Pretana frances
TYPE OF GUARANTEE: GAFGLAS DIAMOND PLEDGE	PERIOD OF COVERAGE: 20	YEARS
OWNER: WAYNE STATE UNIVERSITY, DETROIT, MI 48	3202	
NAME AND TYPE OF BUILDING: WAYNE STATE UNIVERSITY	Y - ART BUILDING	
ADDRESS OF BUILDING: 5400 GULLEN MALL, DETROIT, MI	48202	
SPECIFICATION: 104GP6	AREA OF ROOF: 65	5.00 SQUARES
TYPE OF FLASHING: N/A LENGTH OF FL	ASHING: N/	A LINEAL FEET
APPLIED BY SCHENA ROOFING & SHEET METAL CO. I	NC. / CHESTERFIELD MI	
DATE OF COMPLETION: 09/27/2005	EXPIRATION DATE:0	9/27/2025
THE GUARANTEE GAF MATERIALS CORPORATION ("GAFMC") guarantees to yo will repair leaks through the GAFMC roofing membrane, base flashing edge metal and coating (the "GAFMC Roofing Materials") resulting fro Scope Of Coverage - Leaks Caused by: 1. Natural deterioration of the GAFMC Roofing Materials 2. Blisters	<ol> <li>Splits not caused by structural failure or mover in substrate roof base or non-GAFMC insulation</li> </ol>	ment of or cracks
3. Bare Spots 4. Fish-mouths 5. Ridges	GAFMC Rooting Materials are applied 7. Buckles and wrinkles 8. Workmanship in applying the GAFMC Roofing 9. Slippage of membrane or base flashing	Materials
There is no dollar limit on covered repairs. Leaks caused by an insulation, or any other materials used in the construction of the roof	y materials other than those listed above, such as system, are not covered.	the roof deck,
GUARANTEE PERIOD This guarantee ends as of the date listed above. Note: Some sy system. Where Mcurbs or Lessuco flashings are used, they are cover is checked above. Journa guarantee can be astended by follow	stems require the use of specialized accessories in ed by this guarantee only for the first 10 years. If the inst the actions explained below	the roofing e guarantee exten-

### ELIMINATOR" ADVANTAGE

In addition to the repair of leaks as detailed above, if a Stratavente Eliminator perforated venting base sheet is installed directly over isocyanurate insulation, GAFMC will also make repairs to eliminate blisters that occur between the Stratavente Eliminator perforated venting base sheet and the isocyanurate insulation even if these blisters do not result in leaks.

## **EZ MAINTENANCE OPTION**

Smooth surfaced built up and modified roof systems require reapplication of roof coating on average every three to five years in accordance with normal good rooling practice and to assure that this guarantee remains in full force. Roof systems coated with one coat of BMCA MB Plus or BMCA Surface Seal require coating only once every seven years for the guarantee to remain in full force and effect. Roof systems coated with two coats of BMCA MB Plus or BMCA Surface Seal require coating only once every ten years for the guarantee to remain in full force and effect.

OWNER'S RESPONSIBILITIES In the event of a leak through the GAFMC Roofing Materials, you must notify the GAFMC Contractor Services Department, 1361 Alps Road, Bldg. 11-2, Wayne, New Jersey 07470 in writing about the leak within 30 days after its discovery or GAFMC will have no responsibility for any repairs. NOTE: the roofing contractor is NOT an agent of GAFMC; notice to the roofing contractor is NOT notice to GAFMC.

to GAFMC. By notifying GAFMC, you authorize GAFMC to investigate the cause of the leak. If the investigation reveals that the leak is not cov-ered by this Guarantee, you agree to pay an investigation cost of \$500. This Guarantee will be cancelled if you fail to pay this cost within 30 days of receipt of an invoice for it. You must perform regular inspections and maintenance and keep records of this work. Any equipment or material that impedes any inspection must be removed at your expense so that GAFMC can perform inspections. You must make repairs to the building or roof com-ponents not covered under the guarantee that are identified by GAFMC during an inspection as necessary to preserve the integrity of the GAFMC Roofing Materials. This guarantee will be cancelled if you fail to do so in a timely manner. You may make temporary repairs to minimize damage to the building or its contents in an emergency, at your sole expense. These repairs will not result in cancellation of the guarantee as long as they are reasonable and customary and do not result in permanent damage to the GAFMC Roofing Materials.

EXCLUSIONS FROM COVERAGE This Guarantee does NOT cover conditions other than leaks or leaks caused by: Changes in the use of the building unless approved in writing in advance by GAFMC.

1. Lack of roof maintenance.

4. Traffic of any nature on the roof.

- Unusual weather conditions or natural disasters including, but not limited to, windstorms, hail, floods, hurricanes, lightning, tornados, and earthquakes.
- Damage to the roof constructed of the GAFMC Roofing Materials due to: (a) movement or cracking of the roof deck or building; (b) improper installation or failure of any non-GAFMC insulation or materials; (c) infiltration or condensation of mois-ture through or around the walls, copings, building structure or surrounding materials; or (d) chemical attack on the membrane, including, but not limited to, exposure to grease or oil.
  - Any repairs, modifications or additions to the GAFMC Roofing Materials after the roof is completed, unless approved by GAFMC in writing in advance.
    - Any condition (e.g., base flashing height or lack of counter-flashing) that is not in accordance with GAFMC's Application and Specifications Manual unless specifically accepted by GAFMC in writing.

For any asphaltic or thermoset (EPDM) roofing system, condi-tions that prevent positive drainage or result from ponding water.

No representative, employee or agent of GAFMC has the authority to assume any additional liability or responsibility for GAFMC unless approved in writing by an authorized Contractor Services Manager. GAFMC shall not be responsible for or liable for any change or amendment to the GAFMC roof specifications in regard to the construction of the roof described above unless the change and/or amendment to the specifications is approved in writing by an authorized GAFMC contractor Services Manager. NOTE: Any inspections made by GAFMC are limited to a surface inspection only, are for GAFMC's sole benefit, and do not constitute a waiver of any of the terms and conditions of this guarantee. lerms

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ASSIGNABILITY, GURARANTEE EXTENSION You may assign this guarantee to a subsequent owner of this building for the remaining term only if: 1) the request is in writing within 30 days after ownership transfer; 2) you make any repairs to the GAFMC Roofing Materials or other roofing or building components that are identified by GAFMC after an inspection as necessary to preserve the integrity of the GAFMC Roofing Materials; and 3) you pay an assignment fee of \$500. This Guarantee is NOT otherwise assignable, directly or indirectly. Your guarantee may be eligible for extension for up to five years depending on the specification. You must 1) notify GAFMC in writing 6 months before or up to 12 months after the expiration date that you wish to extend the guarantee; 2) pay a \$300 inspection fee and 3) make any repairs to the GAFMC Roofing Materials or other roofing or building components that are identified by GAFMC after an inspection as necessary to preserve the integrity of the GAFMC Roofing Materials. An approved roofer must then properly apply the appropriate BMCA liquid membrane to your roof, and notify GAFMC that it is complete.

LIMITATION OF DAMAGES; MEDIATION; JURISDICTION; CHOICE OF LAW THIS GUARANTEE IS EXPRESSLY IN LIEU OF ANY OTHER GUARANTEES OR WARRANTIES, EXPRESS OR IMPLIED, INCLUDING ANY IMPLIED WARRANTY OR MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE, and of any other obligations or liability of GAFMC, whether any claim against it is based upon negligence, breach of warranty or any other theory. In NO event shall GAFMC be liable for any CONSEQUENTIAL OR INCIDENTAL DAMAGES of any kind, including, but not limited to interior or exterior damages and/or mold growth. The parties agree that, as a condition precedent to litigation, any controversy or claim relating to this Guarantee shall be first submitted to mediation before a mutually acceptable mediator. In the event that mediation is unsuccessful, the parties agree that neither one will commence or prosecule any lawsuit or proceeding other than before the appropriate state or federal court in the State of New Jersey. This Guarantee shall be governed by the laws of the State of New Jersey, without regard to principles of conflicts of laws. Each party irrevocably consents to the jurisdiction and venue of the above identified courts.

NOTE: This Guarantee becomes effective only when all bills for installation and supplies have been paid in full to the roofing contractor and materials suppliers, and the Guarantee charge has been paid to GAF Materials Corporation.

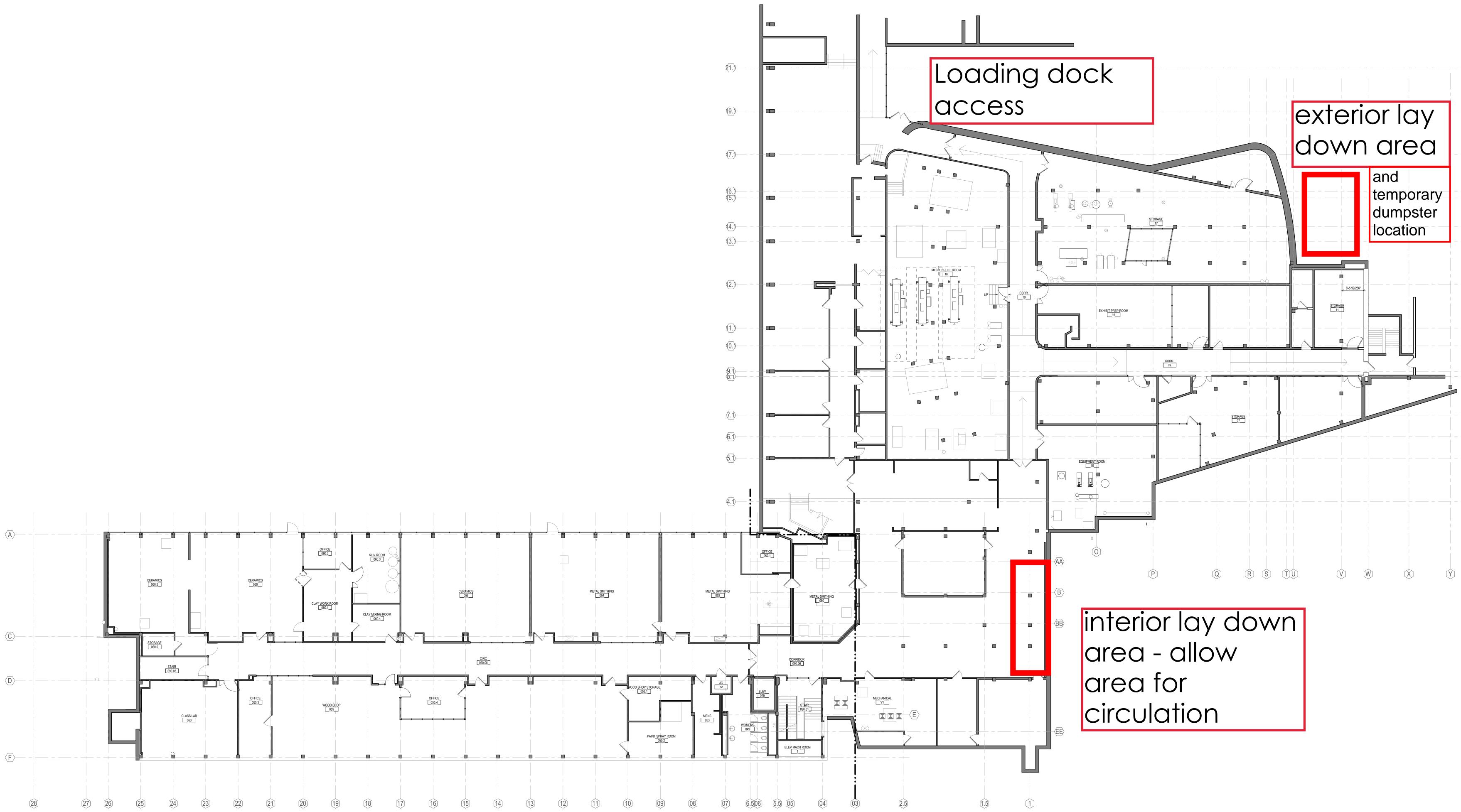
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GAF MATERIALS C	опринятом О Л	
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Authorized Signature

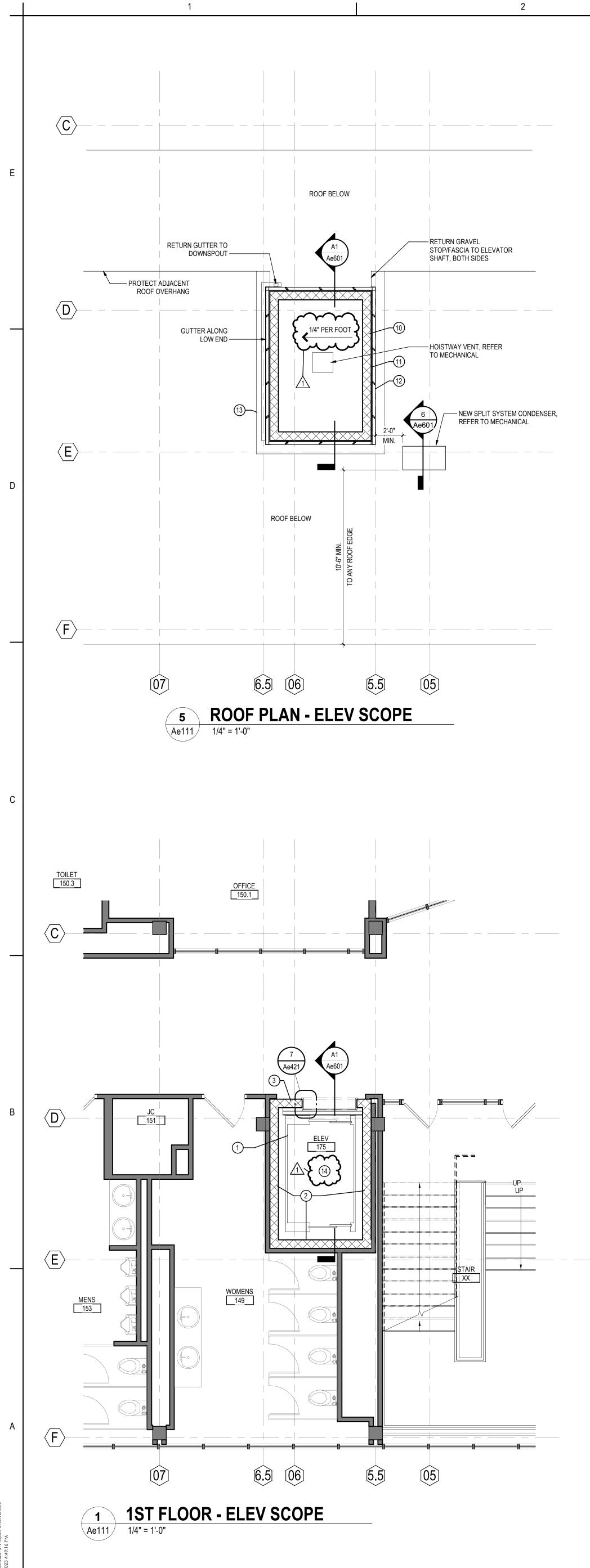
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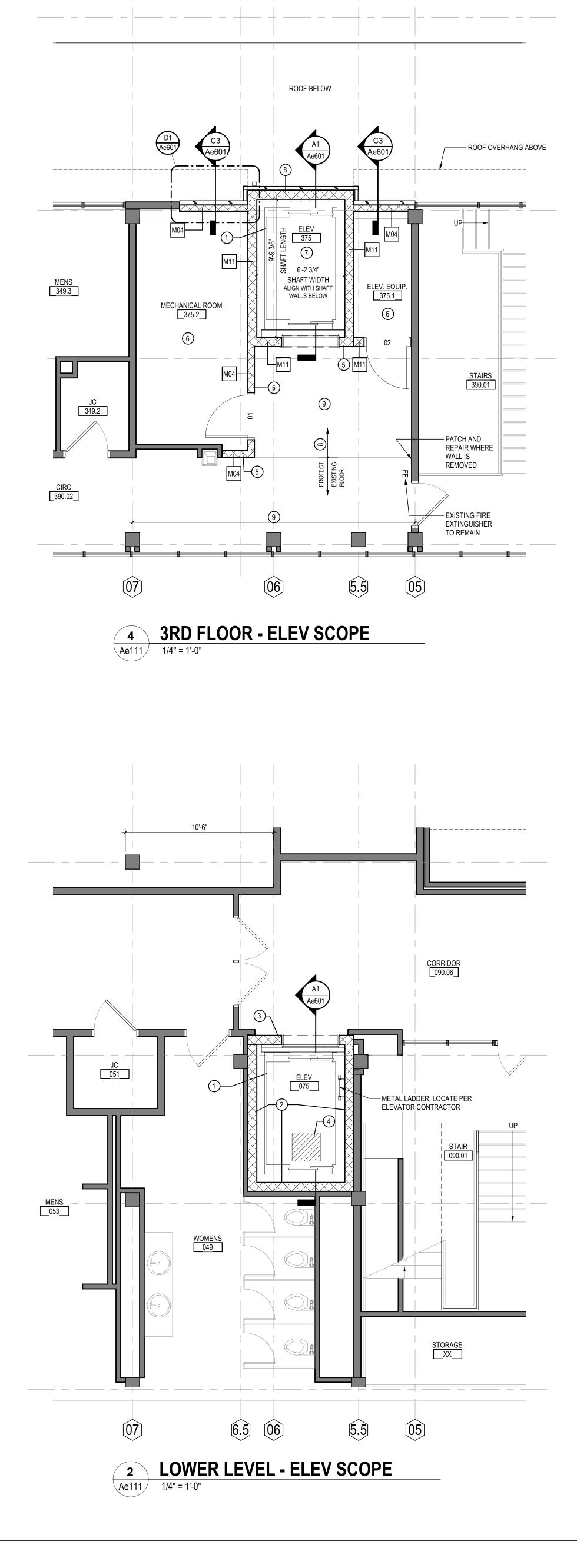
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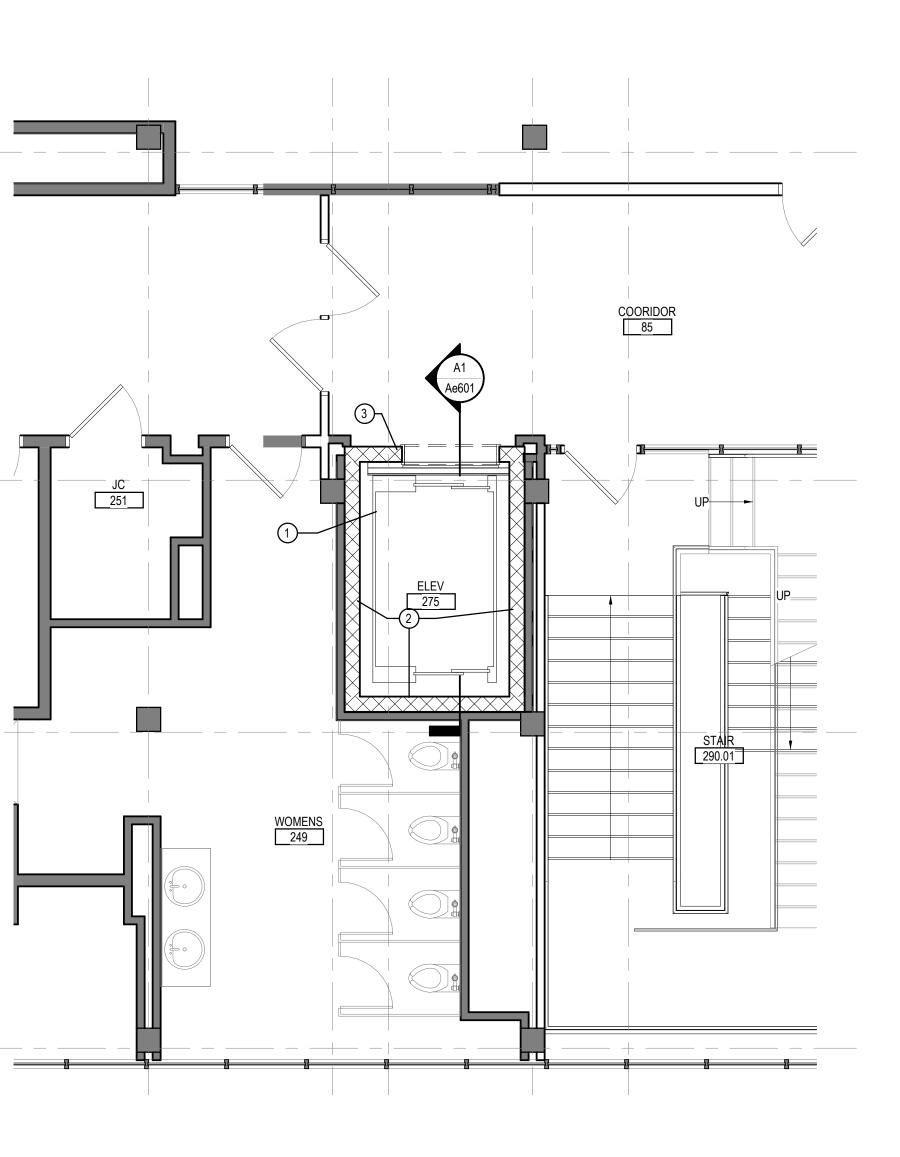






ORIGINAL SHEET - ARCH E1







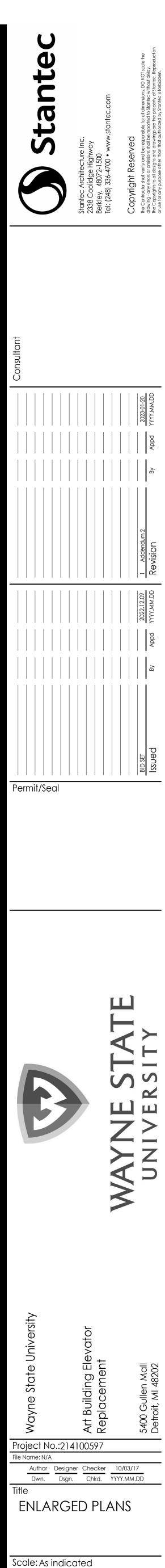
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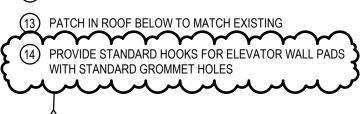
## GENERAL FLOOR PLAN NOTES

- ALL DIMENSIONS ARE FROM COLUMN REFERENCE LINE TO FACE OF PARTITION, UNLESS NOTED OTHERWISE.
   REFER TO DRAWING Ae101 FOR LOCATIONS & EXTENT OF RATED ASSEMBLIES.
   <u>NOTE:</u> AN AIR CONDITIONING PROJECT WILL BE ONGOING ON AT THE SAME TIME AND DRAWINGS ARE AVAILABLE FOR REFERENCE.

# CONSTRUCTION NOTES

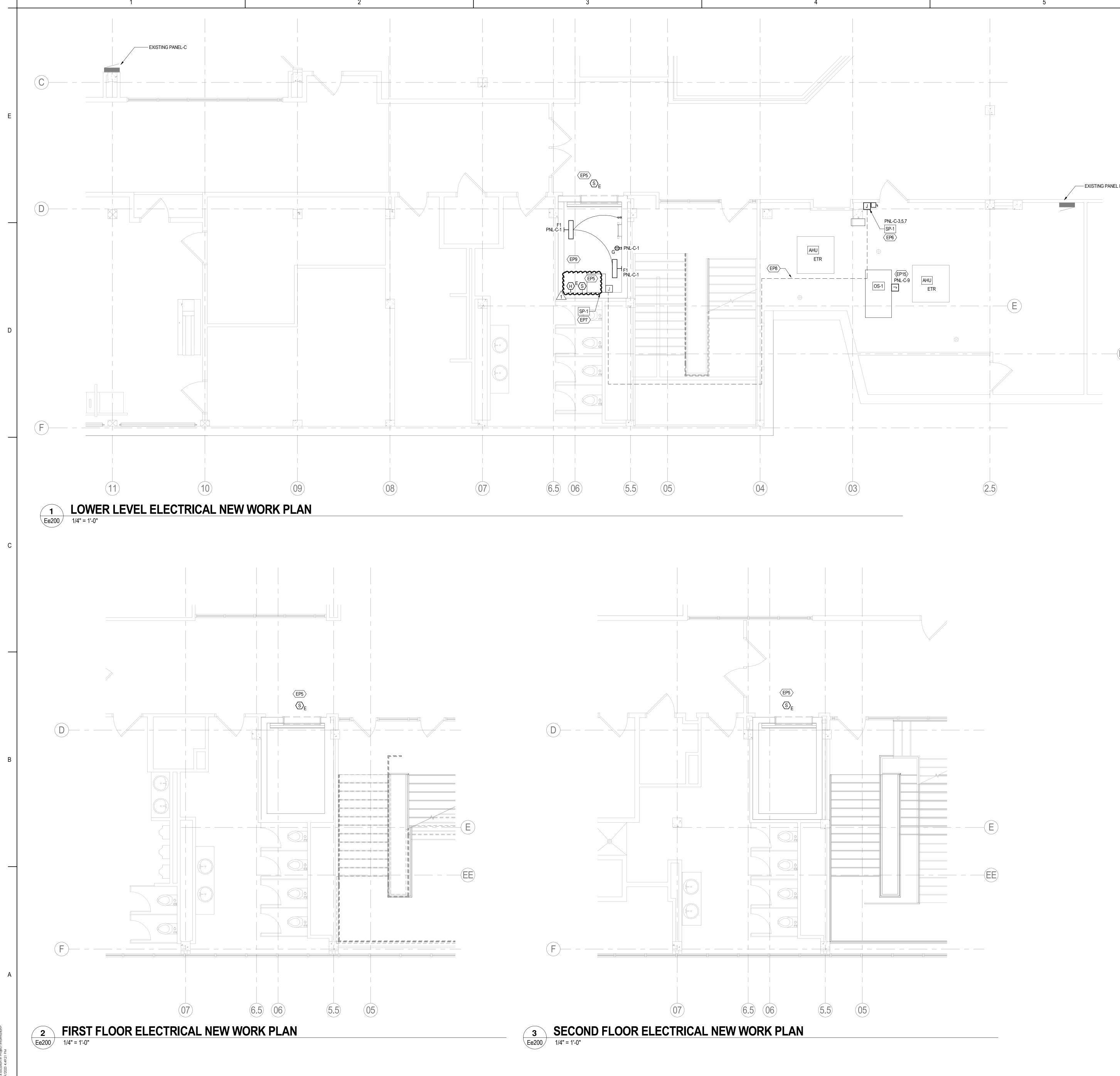
- 1 NEW DOUBLE SIDED ELEVATOR, CUSTOM CAB
- 2 CONSTRUCT 8" CMU FULLY GROUTED SHAFT WALL INTERIOR OF THE EXISTING SHAFT
- 3 NEW 8" CMU IN LINE WITH PREVIOUS 4" WALL, PAINT TO MATCH ADJACENT FINISH
- 4 NEW SUMP PUMP, REFER TO MECHANICAL
- 5 WALL FINISH: FINISH: PAINT TO MATCH ADJACENT FINISH BASE: BLACK VINYL TO MATCH EXISTING
- 6 <u>FLOOR FINISH:</u> SEALED CONCRETE
- 7 ELEVATOR FLOOR FINISH: RUBBER TILE MANUF: NORA PRODUCT: NORAMENT 825 ROUND COLOR: 0716 SLATE GREY
- ADHESIVE: NORE DRYFIX 750 8 <u>3RD FLOOR ELEVATOR LOBBY FLOOR FINISH:</u> RUBBER TILE MANUF: NORA PRODUCT: NORAMENT HAMMERED
- COLOR: 0749 STONE GREY ADHESIVE: NORE DRYFIX 750 9 PATCH AND PAINT UNDERSIDE OF CONCRETE ROOF SLAB
- (10) 8" CMU SHAFT EXTENSION
- (1) APPLY AIR/VAPOR BARRIER AROUND SHAFT WALL SURROUND
- 12 INSULATED METAL PANEL CLADDING
- (13) PATCH IN ROOF BELOW TO MATCH EXISTING (14) PROVIDE STANDARD HOOKS FOR ELEVATOR WALL PADS WITH STANDARD GROMMET HOLES



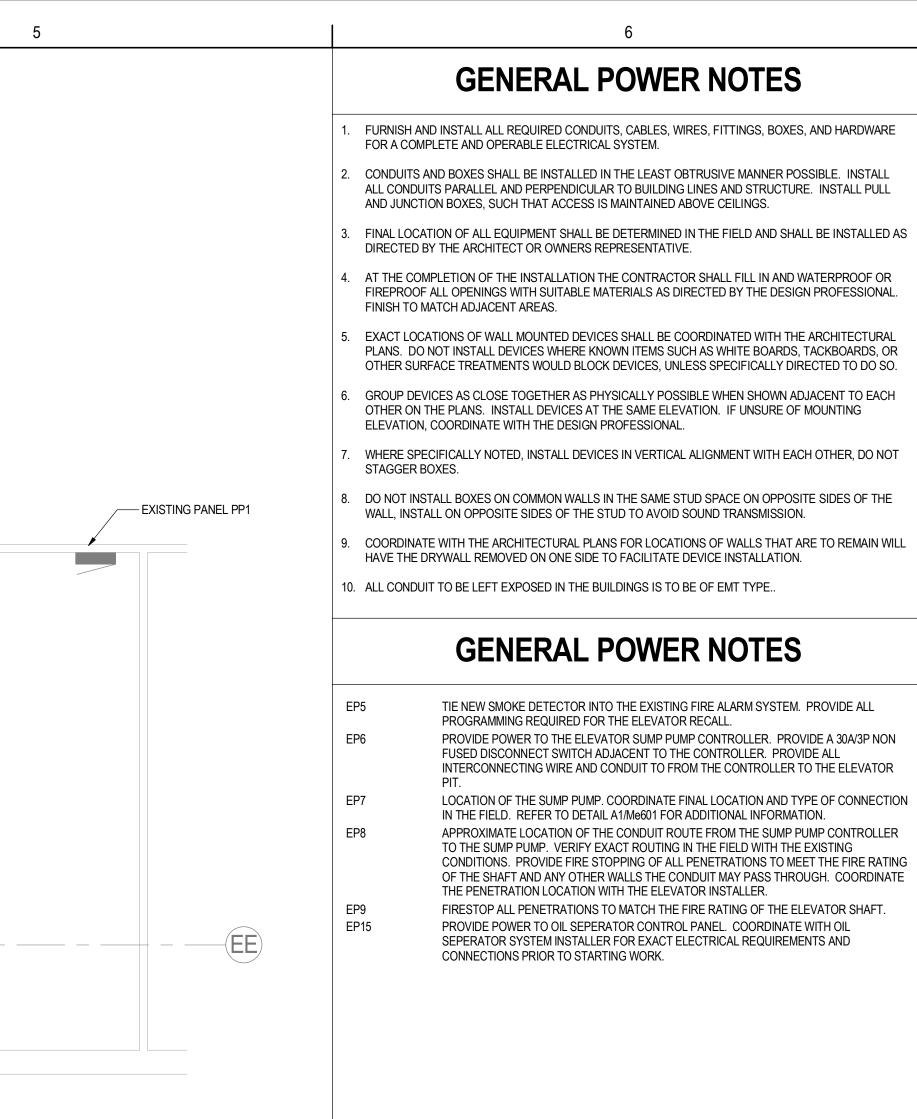


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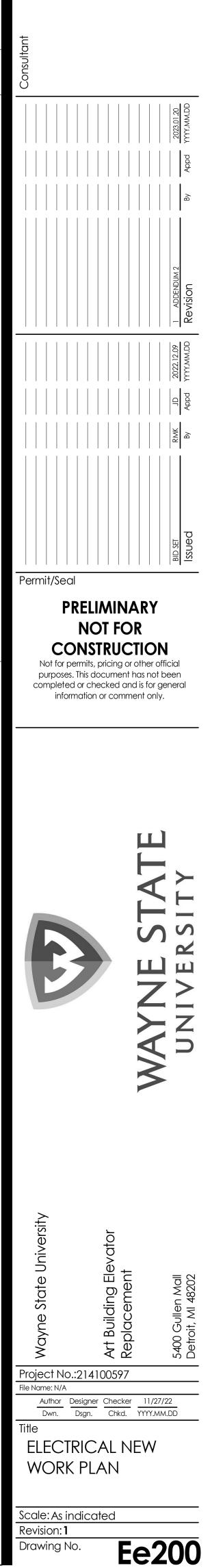
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ORIGINAL SHEET - ARCH E1









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	GENERAL POWER NOTES
	1. FURNISH AND INSTALL ALL REQUIRED CONDUITS, CABLES, WIRES, FITTINGS, BOXES, AND HARDWARE FOR A COMPLETE AND OPERABLE ELECTRICAL SYSTEM.
	2. CONDUITS AND BOXES SHALL BE INSTALLED IN THE LEAST OBTRUSIVE MANNER POSSIBLE. INSTALL ALL CONDUITS PARALLEL AND PERPENDICULAR TO BUILDING LINES AND STRUCTURE. INSTALL PULL AND JUNCTION BOXES, SUCH THAT ACCESS IS MAINTAINED ABOVE CEILINGS.
	3. FINAL LOCATION OF ALL EQUIPMENT SHALL BE DETERMINED IN THE FIELD AND SHALL BE INSTALLED AS DIRECTED BY THE ARCHITECT OR OWNERS REPRESENTATIVE.
	4. AT THE COMPLETION OF THE INSTALLATION THE CONTRACTOR SHALL FILL IN AND WATERPROOF OR FIREPROOF ALL OPENINGS WITH SUITABLE MATERIALS AS DIRECTED BY THE DESIGN PROFESSIONAL. FINISH TO MATCH ADJACENT AREAS.
	5. EXACT LOCATIONS OF WALL MOUNTED DEVICES SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS. DO NOT INSTALL DEVICES WHERE KNOWN ITEMS SUCH AS WHITE BOARDS, TACKBOARDS, OR OTHER SURFACE TREATMENTS WOULD BLOCK DEVICES, UNLESS SPECIFICALLY DIRECTED TO DO SO.
	<ol> <li>GROUP DEVICES AS CLOSE TOGETHER AS PHYSICALLY POSSIBLE WHEN SHOWN ADJACENT TO EACH OTHER ON THE PLANS. INSTALL DEVICES AT THE SAME ELEVATION. IF UNSURE OF MOUNTING ELEVATION, COORDINATE WITH THE DESIGN PROFESSIONAL.</li> </ol>
	<ol> <li>WHERE SPECIFICALLY NOTED, INSTALL DEVICES IN VERTICAL ALIGNMENT WITH EACH OTHER, DO NOT STAGGER BOXES.</li> </ol>
	8. DO NOT INSTALL BOXES ON COMMON WALLS IN THE SAME STUD SPACE ON OPPOSITE SIDES OF THE WALL, INSTALL ON OPPOSITE SIDES OF THE STUD TO AVOID SOUND TRANSMISSION.
	9. COORDINATE WITH THE ARCHITECTURAL PLANS FOR LOCATIONS OF WALLS THAT ARE TO REMAIN WILL HAVE THE DRYWALL REMOVED ON ONE SIDE TO FACILITATE DEVICE INSTALLATION.
	10. ALL CONDUIT TO BE LEFT EXPOSED IN THE BUILDINGS IS TO BE OF EMT TYPE
	GENERAL POWER NOTES
	EP1 EXTEND POWER TO THE NEW NAC PANEL LOCATION. EXTEND ALL FIRE ALARM WIRING TO THE NEW LOCATION.
	EP2 PROVIDE A 100A/3P FUSED SAFETY SWITCH WITH AUXILIARY CONTACTS FOR BATTERY LOWERING SIGNAL TO THE ELEVATOR CONTROLLER. PROVIDE FUSES PER THE ELEVATOR MANUFACTURER'S REQUIREMENTS.
	<ul> <li>PROVIDE A 30A/2P FUSED SAFETY SWITCH, FUSED AT 20A FOR ELEVATOR CAB LIGHTS AND FAN.</li> <li>PROVIDE A 30A/2P NON FUSED SAFETY SWITCH FOR THE ELEVATOR EQUIPMENT AIR</li> <li>CONDITIONING UNIT. REFER TO SPLIT SYSTEM WIRING DETAIL ON Ee003 FOR MORE</li> <li>INFORMATION.</li> </ul>
	EP5 TIE NEW SMOKE DETECTOR INTO THE EXISTING FIRE ALARM SYSTEM. PROVIDE ALL PROGRAMMING REQUIRED FOR THE ELEVATOR RECALL.
	<ul> <li>EP9 FIRESTOP ALL PENETRATIONS TO MATCH THE FIRE RATING OF THE ELEVATOR SHAFT.</li> <li>EP10 PROVIDE 3/4" CONDUIT AND JUNCTION BOX TO THE TELECOMMUNICATIONS CLOSET FOR TELEPHONE CONNECTION TO THE ELEVATOR. PROVIDE CAT6 CABLE WITH TERMINATIONS AT BOTH ENDS AS APPLICABLE.</li> </ul>
	EP11 CONDUIT SHALL BE ROUTED THROUGH PIPE PORTAL PROVIDED BY THE MECHANICAL CONTRACTOR. SEE MECHANICAL SHEETS FOR MORE INFORMATION.
	EP12 COORDINATE FIXTURE PLACEMENT WITH MECHANICAL DUCTWORK INSTALLER PRIOR TO ROUGH-IN.
	<ul> <li>EP13 TIE NEW SMOKE DETECTOR INTO THE EXISTING FIRE ALARM SYSTEM.</li> <li>EP14 EXTEND EXISTING FEEDERS TO PANELS FROM PULLBOX INSTALLED DURING DEMOLITION PHASE TO POWER PANEL.</li> </ul>
	EP16 PROVIDE POWER TO RELIEF HOOD DAMPER. COORDINATE LOCATION AND CONNECTION TYPE WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN.
	EP17 REUSE FIRE ALARM AUDIO/VISUAL DEVICE SET ASIDE DURING DEMOLITION PHASE. TIE FIRE ALARM DEVICE BACK INTO EXISTING FIRE ALARM SYSTEM AND ENSURE A COMPLETE AND WORKING SYSTEM.
	EP18 RELISE FIRE ALARM PULL STATION DEVICE SET ASIDE DURING DEMOLITION PHASE. THE FIRE

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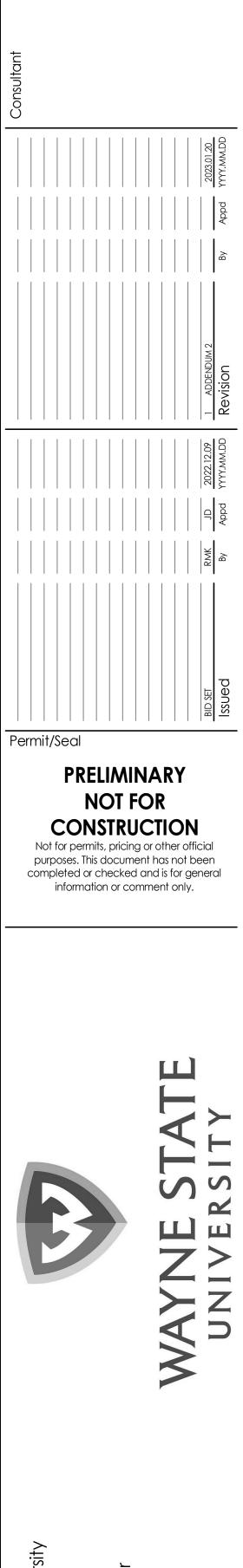
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EP18 REUSE FIRE ALARM PULL STATION DEVICE SET ASIDE DURING DEMOLITION PHASE. TIE FIRE ALARM PULL STATION DEVICE BACK INTO EXISTING FIRE ALARM SYSTEM. EP19 MOUNT FIRE ALARM AUDIO/VISUAL DEVICE CENTERED ABOVE PULL STATION. REFER TO DETAIL 3 ON Ee001 FOR MOUNTING HEIGHT INFORMATION.

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Wayne State University	Art Building Elevator Replacement	5400 Gullen Mall Detroit, MI 48202		
Project No.:2	14100597			
File Name: N/A				
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